

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, July 28, 2015
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. **Call to Order**
2. **Reaffirmation of Oath of Office**
The Oath of Office will be read by Councillor Hodge.
3. **Confirmation of Minutes** 1 - 15
Public Hearing - July 14, 2015
Regular Meeting - July 14, 2015
4. **Bylaws Considered at Public Hearing**
 - 4.1 **5267 Chute Lake Road, BL11110 (Z15-0021) - David Rolleston** 16 - 16
To give Bylaw No. 11110 second and third reading in order to rezone the subject property.
 - 4.2 **3699 Highway 97 North, BL11111 (Z15-0028) - University Business Park Ltd.** 17 - 17
To give Bylaw No. 11111 second and third reading in order to rezone the subject property.
 - 4.3 **225 Clifton Road and (W of) Union Road, BL11112 (OCP15-0012) - Glenwest Properties Ltd.** 18 - 19
Requires a majority of all members of Council (5).
To give Bylaw No. 11112 second and third reading in order to change the future land use designation of portions of the subject properties.
 - 4.4 **225 Clifton Road and (W of) Union Road, BL11113 (Z15-0016) - Glenwest Properties Ltd.** 20 - 21
To give Bylaw No. 11113 second and third reading in order to rezone portions of the subject properties.

5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

6. Heritage Alteration Permit, Development Permit and Development Variance Permit Reports

6.1 TO BE DEFERRED AT THE APPLICANT'S REQUEST - 2072 Abbott Street, HAP15-0004 - CEI Architecture Planning 22 - 52

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the Heritage Alteration Permit to come forward.

To consider non-support of a Heritage Alteration Permit application for the demolition of the existing Heritage Register house on the subject property to facilitate development of a new single detached house.

6.2 650 Clement Avenue, DP15-0132 & DVP15-0133 - City of Kelowna 53 - 94

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a Development Permit and a Development Variance Permit for the new RCMP building located at 650 Clement Ave.

6.3 3470 Shayler Road, DP15-0086 & DVP15-0087 - Kinnikinnik Developments Inc. 95 - 127

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a Development Permit and Development Variance Permit for a mixed-use building at McKinley Beach.

7. Reminders

8. Termination



City of Kelowna Public Hearing Minutes

Date: Tuesday, July 14, 2015
Location: Council Chamber
City Hall, 1435 Water Street

Council Members Present: Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben, Mohini Singh and Luke Stack

Staff Present: City Manager, Ron Mattiussi; City Clerk, Stephen Fleming; Divisional Director, Community Planning & Real Estate, Doug Gilchrist; Community Planning Department Manager, Ryan Smith; Planner II, Adam Cseke; and Acting Council Recording Secretary, Tania Tishenko

(* denotes partial attendance)

1. Call to Order

Mayor Basran called the Hearing to order at 6:01 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The City Clerk advised that Notice of this Public Hearing was advertised by being posted on the Notice Board at City Hall on June 30, 2015 and by being placed in the Kelowna Capital News issues on July 3 and July 8, 2015 and by sending out or otherwise delivering 397 statutory notices to the owners and occupiers of surrounding properties, and 3452 informational notices to residents in the same postal delivery route, between June 30 and July 3, 2015.

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

3. Individual Bylaw Submissions

3.1 505-525 Snowsell Road N, BL11105 (OCP14-0027) & BL11106 (Z14-0059) - Garoslav & Catherine Maruszczak

Staff:

- Provided a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letter of Support
Susan Anderson, Valley Rd

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Tony Lochhurst on behalf of Applicant, Burns Rd

- Raised question whether neighbouring City owned parcel could be included in the landscaping plan.

Gallery:

Mona Figueira, Snowsell

- Not contacted by applicant prior to receiving City Notice.
- Was told by her real estate agent her property would decrease in value due to close proximity to a gas station.
- Raised light pollution, safety, traffic and privacy concerns.
- Responded to questions from Council.

Sherry McCechnie, Snowsell

- Recently moved into neighbourhood not knowing a gas station was proposed for property.
- Did not receive Notice.
- Concerned with proximity of gas station should rezoning be successful.
- Raised concerns with hours of operation and light pollution from gas bar.

Emmanuel and Carol Hagel, Snowsell (represented by Ms. Figueira)

- Spoke on behalf of neighbouring owner on Snowsell who share same concerns as Ms. Figueira.

Applicant:

- Confirmed that neighbours were notified and most were supportive.
- Proposing to use canopy lighting so as not to create a neighbourhood nuisance with bright lights.

Staff:

- Confirmed setting business hours not part of the land use planning process.

There were no further comments.

3.2 902 Clifton Road, BL11107 (Z15-0008) - Dan & Mary Cresswell

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council. The applicant was present and did not have anything further to add.

There were no further comments.

3.3 1936-1940 Kane Road & 437 Glenmore Road, BL11108 (Z15-0009) - Glen Park Village Inc. et al

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received.

Letters of Support

Ross Wightman, Yates Road
John & Donna Harling, Whitman Road

Letters of Opposition or Concern

Brian Heichert, Aster Road
Marion Morash, Whitman Road

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Ted Burg, Applicant Glen Park Village

- Made comment on current re-location of the store.

Gallery:

Terry Johnston, Lake Country on behalf of 437 Glenmore

- Raised concerns with details of current lease restricting re-location and timelines should this application be successful.

Ted Burg, Applicant Glen Park Village

- Confirmed current lease commitments would be honoured
- Should rezoning be successful, other City processes (DP, building permits etc) would determine timeline

There were no further comments.

4. Termination

The Hearing was declared terminated at 6:57 p.m.

Mayor

/tt/scf/slh

City Clerk



City of Kelowna Regular Council Meeting Minutes

Date: Tuesday, July 14, 2015
Location: Council Chamber
City Hall, 1435 Water Street

Council Members Present: Mayor Colin Basran and Councillors Maxine DeHart, Ryan Donn, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben, Mohini Singh and Luke Stack

Staff Present: City Manager, Ron Mattiussi; City Clerk, Stephen Fleming; Divisional Director, Community Planning & Real Estate, Doug Gilchrist; Community Planning Department Manager, Ryan Smith; Planner II, Adam Cseke; and Acting Council Recording Secretary, Tania Tishenko

(* denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 6:57 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Given.

3. Confirmation of Minutes

Moved By Councillor Gray/Seconded By Councillor Singh

R540/15/07/14 THAT the Minutes of the Public Hearing and Regular Meeting of June 30, 2015 be confirmed as circulated.

Carried

4. Bylaws Considered at Public Hearing

- 4.1 505-525 Snowsell Road North, BL11105 (OCP14-0027) - Garoslav & Catherine Maruszczak

Moved By Councillor Hodge/Seconded By Councillor Gray

R541/15/07/14 THAT Bylaw No. 11105 be read a second and third time.

Carried

- 4.2 505-525 Snowsell Road North, BL11106 (Z14-0059) - Garoslav & Catherine Maruszczak

Moved By Councillor Hodge/Seconded By Councillor Gray

R542/15/07/14 THAT Bylaw No. 11106 be read a second and third time.

Carried

- 4.3 902 Clifton Road, BL11107 (Z15-0008) - Dan & Mary Cresswell

Moved By Councillor Gray/Seconded By Councillor Hodge

R543/15/07/14 THAT Bylaw No. 11107 be read a second and third time.

Carried

- 4.4 1936-1940 Kane Road & 437 Glenmore Road, BL11108 (Z15-0009) - Glen Park Village Inc. et al

Moved By Councillor Donn/Seconded By Councillor Given

R544/15/07/14 THAT Bylaw No. 11108 be read a second and third time and be adopted.

Carried

5. Notification of Meeting

The City Clerk advised that Notice of Council's consideration of these Development Variance Permit Applications was given by sending out or otherwise delivering 356 statutory notices to the owners and occupiers of the surrounding properties, and 6758 informational notices to residents in the same postal delivery route, between June 30 and July 3, 2015.

Notice of these (amendments to Liquor Primary Licenses) were advertised by being posted on the Notice Board at City Hall on June 30, 2015, and by being placed in the Kelowna Capital News issues on July 3 and July 8, 2015 and by sending out or otherwise delivering 89 statutory notices to the owners and occupiers of surrounding properties, and 630 informational notices to residents in the same postal delivery route, between June 30 and July 3, 2015.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

6. Liquor License Application Reports

- 6.1 3929-3933 Lakeshore Road, LL15-0006 - Mission Creek Holdings Ltd.

Staff:

- Provided a PowerPoint Presentation summarizing the application

The City Clerk advised that no correspondence was received.

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council. The Applicant was present and had no comment.

There were no further comments.

Moved By Councillor Hodge/Seconded By Councillor Donn

R545/15/06/30 THAT Council directs staff to forward the following recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

“Be it resolved that:

1. Council recommends support of the application from 614540 BC Ltd. (dba Creekside Pub Restaurant, and Cold Beer and Wine Store at 3929-3933 Lakeshore Road, (legally described as Lot A, Section 6, Township 26, ODYD, Plan 36411) for a change to licensed hours of sale from 10:00 AM to 12:00 AM Monday to Thursday, 11:00 AM to 1:00 AM Friday and Saturday and 11:00 AM to 12:00 AM Sunday to 10:00 AM to 12:00 AM Monday to Thursday, 10:00 AM to 1:00 AM Friday and Saturday and 10:00 AM to 12:00 AM to allow for consistent opening times during the week.
2. The Council’s comments on the prescribed considerations are as follows:
 - a) The potential for noise if the application is approved;

The potential for noise may increase due to the additional hour of service for Friday, Saturday and Sunday mornings. However, noise has not been an issue at this location in the past.
 - b) The impact on the community if the application is approved:

Significant negative community impacts are not anticipated.
3. The Council’s comments on the views of residents (if applicable) are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 “Liquor Licensing Policy and Procedures”.

Carried

7. Development Permit and Development Variance Permit Reports

7.1 2265 Wilkinson Street, BL11093 (Z15-0015) - Jacob & Julie Cruise

Moved By Councillor Donn/Seconded By Councillor Given

R546/15/07/14 THAT Bylaw No. 11093 be adopted.

Carried

7.2 2265 Wilkinson Street, DP15-0067 & DVP15-0068 - Jacob & Julie Cruise

Staff:

- Provided a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition or Concern
Cal Fortnum, Nelson Road
Judith Bell, Wilkinson Street

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Randy Born Delta BC, on behalf of applicant

- No secondary suite at present.
- Garage was constructed by previous owner before purchasing the property.
- Ample room for three parking spots.

There were no further comments.

Moved By Councillor Sieben/Seconded By Councillor Hodge

R547/15/07/14 THAT Council authorizes the issuance of Development Permit No. DP15-0067 for Lot 2 District Lot 136 ODYD Plan KAP89721, located on 2265 Wilkinson Street, Kelowna, BC subject to the following:

1. The dimensions and siting of the building and landscaping to be constructed on the land, be in general accordance with Schedule 'A';
2. The exterior design and finish of the building to be constructed on the land, be in general accordance with Schedule 'B';

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP15-0068 for Lot 2 District Lot 136 ODYD Plan KAP89721, located on 2265 Wilkinson Street, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.2.6 (a) - RU2 - Medium Lot Residential - Development Regulations
Vary the maximum site coverage together with driveways and parking areas from a maximum of 50% required to a maximum of 62% proposed.

Section 13.2.6 (d) - RU2 - Medium Lot Residential - Development Regulations
Vary the minimum side yard setback for a 1 ½ storey portion of a building from 1.5 m required to 1.0 m proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit be valid for two (2) years from the date of Council approval with no opportunity to extend.

Carried

7.3 300 Glen Park Drive, DP15-0083 & DVP15-0084 - OCORP Development Ltd.

Staff:

- Provided a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition or Concern
Nicky Siegner, Whitman Road
Donna & John Harling, Whitman Road
Shannon Croft, Whitman Road

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Tom Gaffney, Architect West Kelowna on behalf of applicant
- Responded to questions from Council.

Gallery:

Joel Kuyvenhoven, 284 Drysdale Blvd

- Stated he was not contacted by the applicant, only by the City.
- Large parcel could build to a high density without any variances.
- Concerned with parking overflowing onto street.
- Concerns with safety.
- Opposed to this development.

Lyle Paulhus, Whitman Road

- Opposed to this Development
- Large parcel that could accommodate many units without variances.

Tom Gaffney, applicant representative

- Project has surplus of resident and visitor parking to requirements.
- Has safer and more generous area for loading and unloading.
- Increased green space and setbacks.

There were no further comments.

Moved By Councillor Given/Seconded By Councillor DeHart

R548/15/07/14 THAT Council authorizes the issuance of Development Permit No. DP15-0083 for Lot A, Section 33, Township 26, ODYD, Plan EPP18422, located on 300 Glen Park Drive, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. That consolidation of the subject property occurs with a portion of the lot addressed as 302 Glen Park Drive that is adjacent to the subject property.

5. That the restrictive no build covenant (CA2463559) registered on the subject property be discharged.
6. Prior to issuance of the Building Permit, the requirements of the Development Engineering Branch must be satisfied as described in the attached report dated May 1st 2015”;
7. That the applicant be required to post with the City, a Landscape Performance Security deposit in the form of a “Letter of Credit” in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;

AND THAT Council authorize the issuance of Development Variance Permit No. DVP15-0084 for Lot A, Section 33, Township 26, ODYD, Plan EPP18422, located on 300 Glen Park Drive, Kelowna, BC.

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with the drawings attached to the Development Variance Permit described in Schedule “A”:

Section 13.9.6 (f) Development Regulations

Vary the rear yard setback requirement from 7.5 metres required setback to 4.0 metres proposed.

AND THAT the applicant be required to complete the above noted conditions of Council’s approval of the Development Permit / Development Variance Permit Applications in order for the permit to be issued.

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7.4 595 Josselyn Court, DVP15-0145 - Catherine & David Thompson

Staff:

- Provided a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council. The Applicant was present and had no further comment.

There were no further comments.

Moved By Councillor Stack/Seconded By Councillor Sieben

R549/15/07/14 THAT Council authorizes the issuance of Development Variance Permit No. DVP15-0145 for Lot 18 Section 26 Township 26 ODYD Plan 29389, located at 595 Josselyn Court, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 6.5.8 (a): General Development Regulations - Accessory Development

To vary the location of an accessory building within the front yard setback from 9.0m required to 1.52m proposed.

AND FURTHER THAT this Development Variance Permit be valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7.5 1432 McInnes Avenue, BL11094 (Z15-0014) - Caroline Kaltenhauser

Moved By Councillor DeHart/Seconded By Councillor Stack

R550/15/07/14 THAT Bylaw No. 11094 be adopted.

Carried

7.6 1432 McInnes Avenue, DP15-0061 & DVP15-0062 - Caroline Kaltenhauser

Staff:

- Provided a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition/Concern
Sheila Seweryn, McInnes Avenue
Ken Work, McInnes Avenue

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Marlin Weninger, Applicant

- Responded to questions from Council.

Gallery:

Gillian Krol, McInnes Ave

- In opposition of this application.
- Raised concerns with parking.

There were no further comments.

Moved By Councillor Given/Seconded By Councillor Donn

R551/15/07/14 THAT Council authorizes the issuance of Development Permit No. DP15-0061 for Lot 3 District Lot 137 ODYD Plan 3756, located at 1432 McInnes Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land, be in general accordance with Schedule 'A';
2. The exterior design and finish of the building to be constructed on the land, be in general accordance with Schedule 'B';
3. Landscaping to be provided on the land to be in general accordance with Schedule 'C';
4. Prior to the issuance of the Building Permit, the requirements of the Development Engineering Branch must be satisfied;

5. Prior to the issuance of the Building Permit, the requirements of the Zoning Application (Z15-0014) must be satisfied; and
6. The applicant is required to post with the City, a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscape architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP15-0062 for Lot 3 District Lot 137 ODYD Plan 3756, located at 1432 McInnes Avenue, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.7.6 (a): RM1- Four Dwelling Housing Development Regulations
To vary the maximum site coverage from 50% to 61% proposed.

Section 13.7.6 (c): RM1- Four Dwelling Housing Development Regulations
To vary the building height from 2 ½ storeys maximum to 3 storeys proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's Approval of the Development Permit and Development Variance Permit in order for the Permit to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit be valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7.7 370 Fleming Road, BL10849 (Z13-0011) - Wendy Cullen & Michael Anderson

Moved By Councillor Stack/Seconded By Councillor DeHart

R552/15/07/14 THAT Bylaw No. 10849 be adopted.

Carried

7.8 370 Fleming Road, DP13-0034 & DVP13-0003 - Wendy Cullen & Michael Anderson

Staff:

- Provided a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Wendy Cullen, Fleming Road, Applicant
- Responded to questions from Council.

There were no further comments.

Moved By Councillor Stack/Seconded By Councillor Given

R553/15/07/14 THAT Council authorizes the issuance of Development Permit No. DP13-0034 for Lot B, Section 27, Township 26, ODYD Plan 11730, located at 370 Fleming Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building and landscaping to be constructed on the land, be in general accordance with Schedule 'A';
2. The exterior design and finish of the building to be constructed on the land, be in general accordance with Schedule "B";

AND THAT Council authorizes the issuance of Development Variance Permit DVP13-0033 for Lot B, Section 27, Township 26, ODYD Plan 11730, located at 370 Fleming Road, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 9.5b.14 Carriage House Regulations

To vary the minimum side yard setback for a Carriage House from 2.0m required to 1.50m proposed.

AND THAT Council direct Staff to ensure that parking in tandem is not used to meet the off-street vehicle parking requirements as per Council Directive from May 27, 2013 Regular Meeting;

AND THAT Council direct Staff to ensure the attic space above the Carriage House remains as a storage space only and that the exterior access door does not become balcony access as per Council Directive from May 27, 2013 Regular Meeting;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and the Development Variance Permit in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance permit is valid for two (2) years from the date of Council approval with no opportunity to extend.

Carried

7.9 459 Groves Avenue and 437 & 442 Newsom Avenue, BL10864 (OCP13-0013) - P218 Enterprises Ltd.

Moved By Councillor Sieben/Seconded By Councillor Singh

R554/15/07/14 THAT Bylaw No. 10864 be adopted.

Carried

7.10 459 Groves Avenue and 437 & 442 Newsom Avenue, BL10865 (Z13-0021) - P218 Enterprises Ltd.

Moved By Councillor Sieben/Seconded By Councillor Singh

R555/15/07/14 THAT Bylaw No. 10865 be adopted.

**7.11 459 Groves Avenue, 3030 Pandosy Street and 437 & 442 Newsom Avenue,
DP15-0100 & DVP15-0102 - AD SOPA Holdings Inc.**

Staff:

- Provided a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition or Concern

Michael Le Feuvre & Annalee De Rosa, Groves Avenue
Crosland Doak, Lawrence Salloum & Al Galbraith for KVG Joint Venture, Alta Vista
Road, Whistler BC

Mayor Basran invited the applicant or anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Kevin Hoffman, Aquilini Development, Vancouver, Applicant

- Spoke to rationale behind height variance request.
- Shift in density as opposed to an increase in density compared with previous design.
- Confirmed shadow study did not increase the shadow impact from previous design.
- Redesigned building for more efficiency and marketability.

Gallery:

Lawrence Salloum, on behalf of KVG Joint Venture Pandosy Street

- Stated subject property is in violation of building codes and that City should not issue any permits until this is resolved.
- Made reference to trespass of steel building anchors onto their property.
- Responded to questions from Council.

Bob Whitehead, on behalf of KLO Neighbourhood Association

- KLO Neighbourhood Association is in favour of project.
- Raised concerns with parking access off Newsom Avenue.
- Spoke to area traffic flow, congestion and parking concerns with the Paddle Club in the vicinity.
- Recommended bollards be placed on Newsom to restrict parking lot access to Fire and Emergency vehicles only.
- In support of height variance.

Robert Moore, Newsom Ave

- Supportive of Aquilini Group moving on with this project.
- Supportive of parking access restrictions off Newsom Ave.
- Lane between Groves and Newsom be closed.

Garth Vickers, Groves Ave

- In support of all comments made by previous speakers.

Applicant, Kevin Hoffman, Aquilini Development, Vancouver

- Responded to questions raised.
- Recently was made aware of soil anchor trespass issue, will work with neighbouring property owners to resolve.
- Not concerned with placement of Bollards along Newsom.

There were no further comments.

Moved By Councillor Stack/Seconded By Councillor Sieben

R556/15/07/14 THAT Council authorize the issuance of Development Permit DP15-0100 for following properties:

- Lot A, District Lot 14, Section 13, Township 25, ODYD, Plan KAP90796, except Air Space Plan EPP17953, located at 3030 Pandosy Street, Kelowna, BC;
- Lot 14, District Lot 14, ODYD, Plan 3856 except Plan KAP90797, located at 459 Groves Avenue, Kelowna, BC;
- Lot 11, Block 2, District Lot 14, ODYD, Plan 4743 except Plan KAP90797, located at 437 Newsom Avenue, Kelowna, BC;
- Lot 19, District Lot 14, ODYD, Plan 3856 except Plan KAP90797, located at 442 Newsom Avenue, Kelowna, BC;
- Air Space Parcel A, Section 13, Township 25 and of District Lot 14, ODYD Air Space Plan EPP17953.

subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. That the previous landscape bonding amount (\$246,531.25) for DP07-0261 be transferred and applied to DP15-0100 as the Landscape Performance Security deposit;
5. That all the properties are consolidated into one parcel;

AND THAT Council authorizes the discharge of the previously approved Development Variance Permit (DVP08-0212) registered under No. LB392536 against Lot A, District Lot 14, Section 13, Township 25, ODYD, Plan KAP90796, except Air Space Plan EPP17953, and for Air Space Parcel A, Section 13, Township 25 and of District Lot 14, ODYD Air Space Plan EPP17953 located at 3030 Pandosy Street, Kelowna, BC, which varied Section 14.4.5(c) of Zoning Bylaw No. 8000 from 7 storeys and 25.0m to 11 stories and 36.5m in height;

AND THAT, in order to replace Development Variance Permit DVP08-0212, Council authorize the issuance of Development Variance Permit DVP15-0102 for Lot A, District Lot 14, Section 13, Township 25, ODYD, Plan KAP90796, except Air Space Plan EPP17953, and for Air Space Parcel A, Section 13, Township 25 and of District Lot 14, ODYD Air Space Plan EPP17953 located at 3030 Pandosy Street, Kelowna, BC;

AND THAT the variance to the following sections of Zoning Bylaw No. 8000 be granted in accordance with the drawings attached to the Development Variance Permit described in Schedule "A":

Section 14.4.5 (c) C4 Development Regulations:

To vary the maximum permitted height from 7 storeys and 25.0m allowed to 14 storeys and 43.0m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit / Development Variance Permit Applications in order for the permit to be issued.

AND THAT prior to issuance of the Building Permit, a Statutory Easement be registered over the courtyard to protect public usage of the space.

AND THAT prior to issuance of the Building Permit, the requirements of the Development Engineering Branch dated June 15th 2015 be satisfied.

AND FURTHER THAT this Development Permit and Development Variance Permit be valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

Moved By Councillor Stack/Seconded By Councillor Hodge

R557/15/07/14 THAT Council directs staff to ensure the applicant installs bollards at the Newsom Avenue parking lot access and lane access;

AND THAT these bollards be removable in case of emergency.

Carried

8. Reminders - Nil.

9. Termination

The meeting was declared terminated at 9:38 p.m.

Mayor

/tt/scf/slh



City Clerk

CITY OF KELOWNA
BYLAW NO. 11110
Z15-0021 - David Reginald John Rolleston
5267 Chute Lake Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, Section 24, Township 28, SDYD, Plan KAP79725, located on Chute Lake Road, Kelowna, B.C., from the RR3 - Rural Residential 3 zone to the RU1 - Large Lot Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 13th day of July, 2015.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11111
Z15-0028 - University Business Park Ltd., Inc. No. 431185
3699 Hwy 97 N

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 3, Section 35, Township 26, ODYD, Plan KAP57139 located on Hwy 97 N, Kelowna, B.C., from the C3 - Community Commercial zone to the C3lp/rls - Community Commercial (liquor primary/retail liquor sales) zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 13th day of July, 2015.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11112

Official Community Plan Amendment No. OCP15-0012 - Glenwest Properties Ltd., Inc. No. C0889227 225 Clifton Road and (W of) Union Road

A bylaw to amend the "*Kelowna 2030* - Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of Lot D Section 8 Township 23 Osoyoos Division Yale District Plan KAP75116 Except Plans EPP24895 And EPP24897, located at 225 Clifton Rd N from the S2RES - Single/Two Unit Residential designation to the S2RESH - Single/Two Unit Residential Hillside designation as shown Map "A" attached to and forming part of this bylaw;
2. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of the North East ¼ of Section 5 Township 23 Osoyoos Division Yale District Except Plans 896, B645, KAP69724, EPP24895 AND EPP24897, located (W OF) Union Rd from the S2RES- Single/Two Unit Residential designation to the S2RESH - Single/Two Unit Residential Hillside designation, from the PARK - Major Park & Open Space designation to the S2RESH - Single/Two Unit Residential Hillside designation, from the S2RESH - Single/Two Unit Residential Hillside designation to the PARK - Major Park & Open Space designation, and from the S2RES - Single / Two Unit Residential designation to the PARK - Major Park & Open Space designation as shown Map "A" attached to and forming part of this bylaw;
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 13th day of July, 2015.

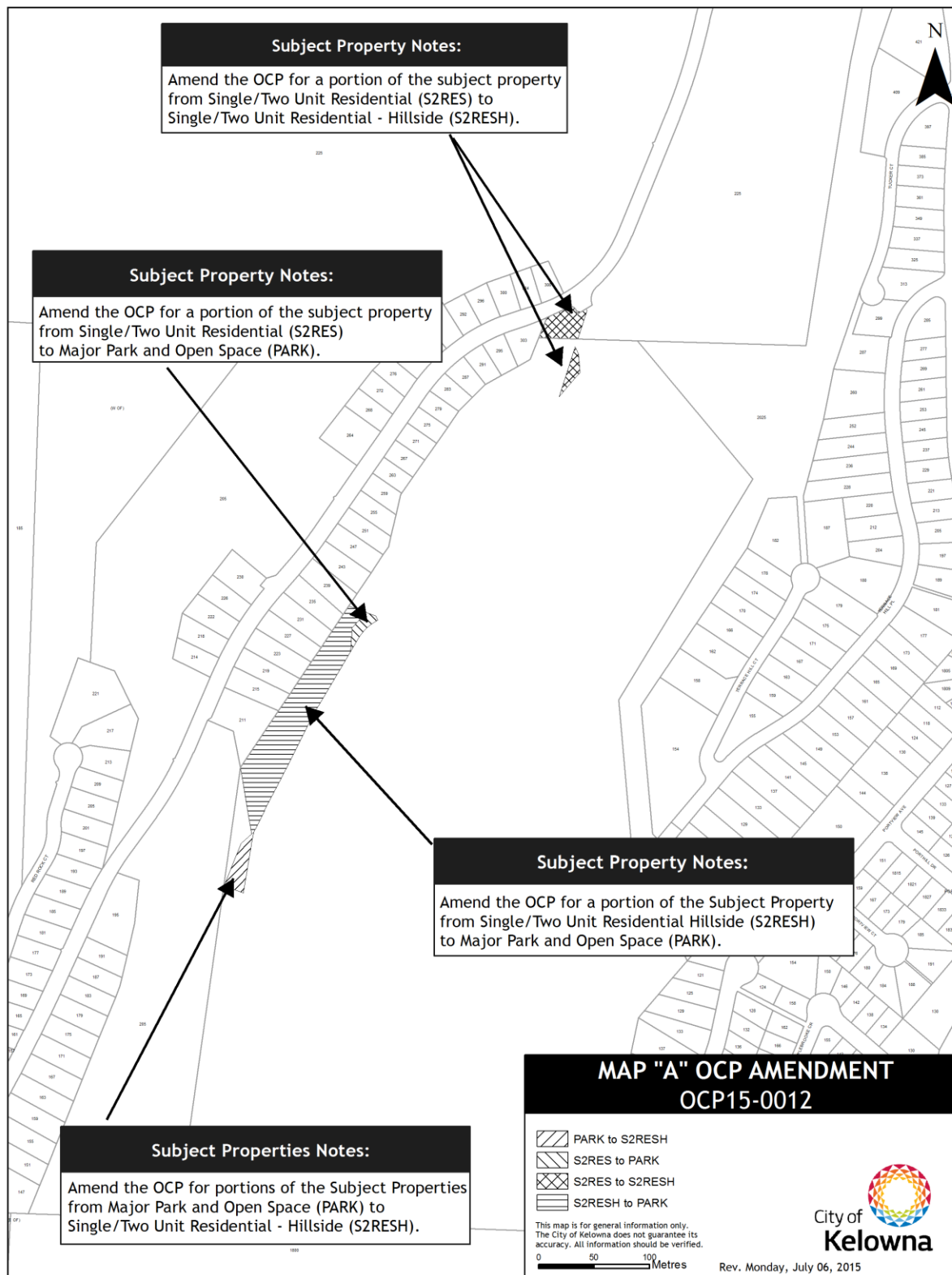
Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



CITY OF KELOWNA

BYLAW NO. 11113

Z15-0016 - Glenwest Properties Ltd., Inc. No. C0889227 225 Clifton Road and (W Of) Union Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot D Section 8 Township 23 Osoyoos Division Yale District Plan KAP75116 Except Plans EPP24895 And EPP24897, located at 225 Clifton Rd N from the RM3 - Low Density Multiple Housing zone to the RU2H - Medium Lot Housing Hillside zone and from the RM3 - Low Density Multiple Housing zone to the RU4 - Low Density Cluster Housing zone as shown Map "B" attached to and forming part of this bylaw;
2. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of the North East ¼ of Section 5 Township 23 Osoyoos Division Yale District Except Plans 896, B645, KAP69724, EPP24895 AND EPP24897, located (W OF) Union Rd from the RU1H - Large Lot Housing Hillside zone to the RU2H - Medium Lot Housing Hillside zone, from the RU4 - Low Density Cluster Housing zone to the RU2H - Medium Lot Housing Hillside zone, from the P3 -Parks and Open Spaces zone to the RU2H - Medium Lot Housing Hillside zone, from the RU2H - Medium Lot Housing Hillside zone to the RU4 - Low Density Cluster Housing zone, from the RU1H - Large Lot Housing Hillside zone to the P3 -Parks and Open Spaces zone, and from the RU2H - Medium Lot Housing Hillside zone to the P3 -Parks and Open Spaces zone as shown Map "B" attached to and forming part of this bylaw;
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 13th day of July, 2015.

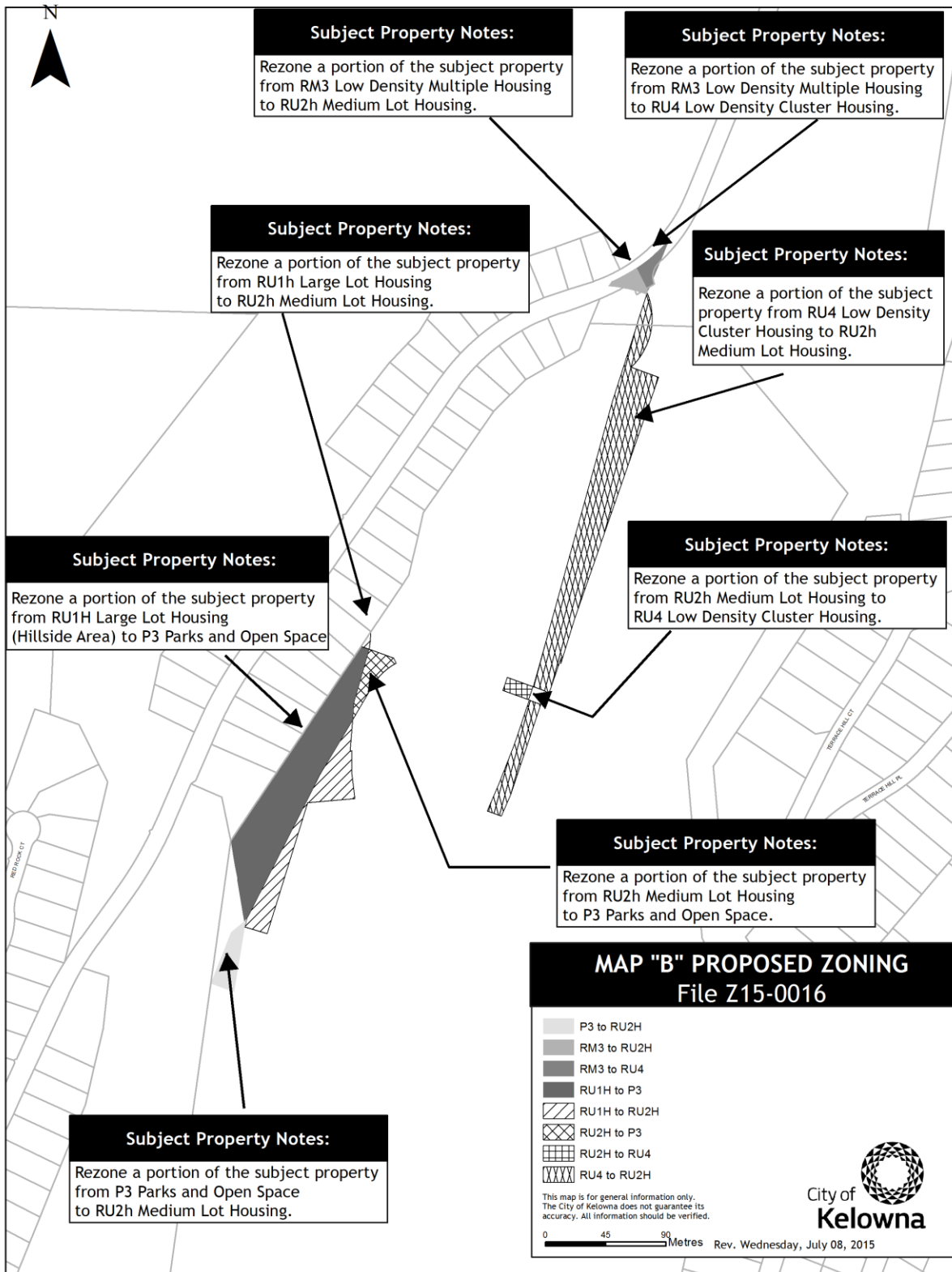
Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



REPORT TO COUNCIL



Date: July 28, 2015

RIM No. 0940-60

To: City Manager

From: Community Planning, Community Planning & Real Estate (LB)

Application: HAP15-0004

Owner: Resear Ltd.

Address: 2072 Abbott Street

Applicant: CEI Architecture Planning Interiors

Subject: Heritage Alteration Permit Application

Existing OCP Designation: S2RES - Single / Two Unit Residential

Existing Zone: RU1 - Large Lot Housing

1.0 Recommendation

THAT Council NOT authorize the issuance of Heritage Alteration Permit No. HAP15-0004 for Lot B, District Lot 14, ODYD, Plan KAP47142, located at 2072 Abbott Street, Kelowna, BC.

2.0 Purpose

To consider a Heritage Alteration Permit application for the demolition of the existing Heritage Register house on the subject property to facilitate development of a new single detached house.

3.0 Community Planning

Community Planning Staff does not support the request to demolish the existing dwelling at 2072 Abbott Street to facilitate the construction of a new dwelling. The subject property, known as the McWilliams House, is listed on the Kelowna Heritage Register and demolition of the house would result in the loss of the property's heritage character and value. With its distinct architectural style and high profile location along the Abbott Street Recreational Corridor and Okanagan Lake, this is a unique property within the Abbott Street Heritage Conservation Area and the City of Kelowna as a whole.



In exploring options that see the McWilliams house retained, Staff suggested potential alternatives to demolition. These include adding onto the existing house, constructing a second dwelling at the rear of the property (this option would require establishing a Heritage Revitalization Agreement or rezoning to the RU6 - Two Dwelling Housing zone), or relocating the house to another site in the area. The applicant considered these options and prefers to proceed with demolition, citing the investment to renovate is not worthwhile and the property is not big enough to accommodate a second house.

Heritage Register Evaluation

Staff evaluated the heritage value of the subject property using the Kelowna Heritage Register Evaluation Criteria, scoring a total of 90 points of a possible 100 points (see Attachment B). A score between 60 and 100 indicates the property has heritage value and should be listed on the Heritage Register. Some of the key factors that contribute to this high score are the building's distinct architectural style and design, the direct association with historical local leaders, its orientation to both Abbott Street and Okanagan Lake, the well-maintained landscaping, and relatively few alterations to the building and property.

Section 972(5) of the *Local Government Act* states:

A local government or its delegate may refuse to issue a heritage alteration permit for an action that, in the opinion of the local government or delegate, would not be consistent with the purpose of the heritage protection of the property.

The subject property's heritage value, as discussed in Section 4.1 of this report, would be lost should demolition of the house and removal of its associated landscape features be permitted to proceed.

4.0 Proposal

4.1 Background

Kelowna Heritage Register

The Kelowna Heritage Register is an official listing of properties identified as having heritage value, though inclusion on the Heritage Register does not constitute heritage protection. Within the Abbott Street Heritage Conservation Area, a Heritage Alteration Permit application is required for any proposed demolition, construction or structural changes as per the Heritage Procedures Bylaw. Heritage Alteration Permit applications are considered based on the Heritage Conservation Area Guidelines as well as applicable policies.

Architectural Style

The *Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines* identifies the architectural style for both the property and the block as Mediterranean Revival. Only two other properties in the Heritage Conservation Area are characterized by this architectural style, one of which is also listed on the Heritage Register. Features of the Mediterranean Revival style include a stepped parapet around a flat roof, flush eaves and stucco detail, cascading building mass, one or two storey massing, vertical double-hung windows, multiple pane windows, and an asymmetrical front façade.

2072 Abbott Street Heritage Details

The subject property was added to the Kelowna Heritage Register in 2001. Built in 1931 and known as the McWilliams House, the Heritage Register Statement of Significance identifies the house as a rare and fine example of Spanish Colonial Revival architecture, which is an expression of the Mediterranean Revival style (see Attachment C). This architectural style was seldom used

in Canada, making it a rarity both locally and nationally. Spanish Colonial Revival and Mediterranean Revival elements represented in this house include the asymmetrical façade with horizontal emphasis, smooth stucco exterior and pale colours. Landscaping on the property consists of mature horse chestnut trees, coniferous trees, manicured lawns and hedges along the property lines.

The house was originally built by William G. Scott, a plumber and tinsmith. Thomas Finley McWilliams lived in the house with his family in the late 1940s and 1950s. McWilliams was a well-known local lawyer and acted as the City Police Magistrate and Stipendiary Magistrate for the area. His wife Muriel was named Kelowna Citizen of the Year in 1956 for her work in the community and with charities.

Additional information regarding the heritage features of the McWilliams House and the property can be found in Attachment C: Statement of Significance.

4.2 Application Chronology

The Heritage Alteration Permit application for demolition of the house was submitted on April 30, 2015. Following review and circulation of the application, Staff contacted the applicant with feedback and suggested options that would both retain the McWilliams House and allow for some development on the property. The applicant considered these alternatives and preferred to proceed with the request for demolition, as originally submitted.

Pursuant to the City of Kelowna Heritage Procedures Bylaw No. 7776, the authority to issue this type of Heritage Alteration Permit is delegated to the Community Planning Department Manager. Based on the Report to Manager dated June 22, 2015, the Community Planning Department Manager chose to reject the Permit application. On June 22, 2015, the applicant was informed of this decision as well as the opportunity to apply for Council re-consideration of the matter.

The applicant delivered an application for re-consideration of the decision on July 6, 2015, stating the grounds upon which the decision is considered inappropriate and what decision the applicant considers Council ought to substitute (see Attachment D). The process for re-consideration of this application is pursuant to Section 10.0 of the City of Kelowna Heritage Procedures Bylaw No. 7776.

4.3 Project Description

The applicant is proposing to demolish the existing Heritage Register house and replace it with a new single detached house that is larger and more functional. Although the general massing of the proposed house is similar to the existing one, the form and character is not in keeping with the Mediterranean Revival style identified for the property and the block. Being over 80 years old the house has maintenance demands that exceed those of newer structures; however, this is not uncommon among heritage homes.

The conceptual plan submitted as part of this application is a modern two-storey design with a flat roof and white stucco, architectural concrete, metal panel and glass exterior. On the proposed façade facing Abbott Street, the first storey consists of a stucco wall (the side of a double car garage) and a concrete wall with stucco overhang, and the second storey consists of metal paneling, glazing and stucco roof overhang. The proposed development also includes a pool at the rear of the property, hedges along the north and south property lines, and a fence and gate along Abbott Street.

4.4 Site Context

The subject property is located on the west side of Abbott Street between Burne Avenue and Cadder Avenue in the Abbott Street Heritage Conservation Area in the City's Central City Sector. The property is designated S2RES - Single / Two Unit Residential in the Official Community Plan and is within the Abbott Street Heritage Conservation Area. The surrounding area is characterized by single dwelling housing.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 - Large Lot Housing	Single dwelling housing
East	RU1 - Large Lot Housing	Single dwelling housing
South	RU1 - Large Lot Housing	Single dwelling housing
West	W1 - Recreational Water Use	Okanagan Lake

Subject Property Map: 2072 Abbott Street



5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Heritage Register.¹ Use the Kelowna Heritage Register for fully informed decision-making regarding land use of heritage properties.

Heritage Designation.² Encourage owners of properties listed in the Kelowna Heritage Register and identified as significant to voluntarily provide long-term heritage protection to their properties through the use of a Heritage Designation Bylaw.

Heritage Revitalization Agreements.³ Consider the adaptive re-use of heritage buildings within any future land use designation, provided that a Heritage Revitalization Agreement is negotiated

¹ City of Kelowna Official Community Plan, Policy 5.7.1 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.7.2 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 5.7.3 (Development Process Chapter).

with the City and provided that the project meets the criteria established for sensitive neighbourhood integration.

Heritage Conservation Areas.⁴ Continue to recognize the established heritage conservation areas of Abbott Street and Marshall Street as identified on Map 9.1.

5.2 Abbott Street and Marshall Street Heritage Conservation Areas Development Guidelines

Mediterranean Revival Characteristics:

- Masonry feel to the architecture
- Stepped parapet about a flat roof
- Shed and high gable roof sub-forms
- Flush eaves and stucco detail at roof edges
- Cascading building mass
- One or two storey massing
- Vertical double-hung window openings
- Single and multi-sash window assembly
- Multiple pane windows (munton bars)
- Asymmetrical front facade
- Clay tile roofing
- Side or rear yard parking

6.0 Application Chronology

Date of Application Received:	April 30, 2015
Date of Manager Decision:	June 22, 2015
Date of Request for Re-Consideration:	July 6, 2015

7.0 Alternate Recommendation

THAT Council authorizes the issuance of Heritage Alteration Permit No. HAP15-0004 for Lot B, District Lot 14, ODYD, Plan KAP47142, located at 2072 Abbott Street, Kelowna, BC.

Report prepared by:

Laura Bentley, Planner

Reviewed by:

☐

Lindsey Ganczar, Planning Supervisor

Approved for Inclusion:

☐

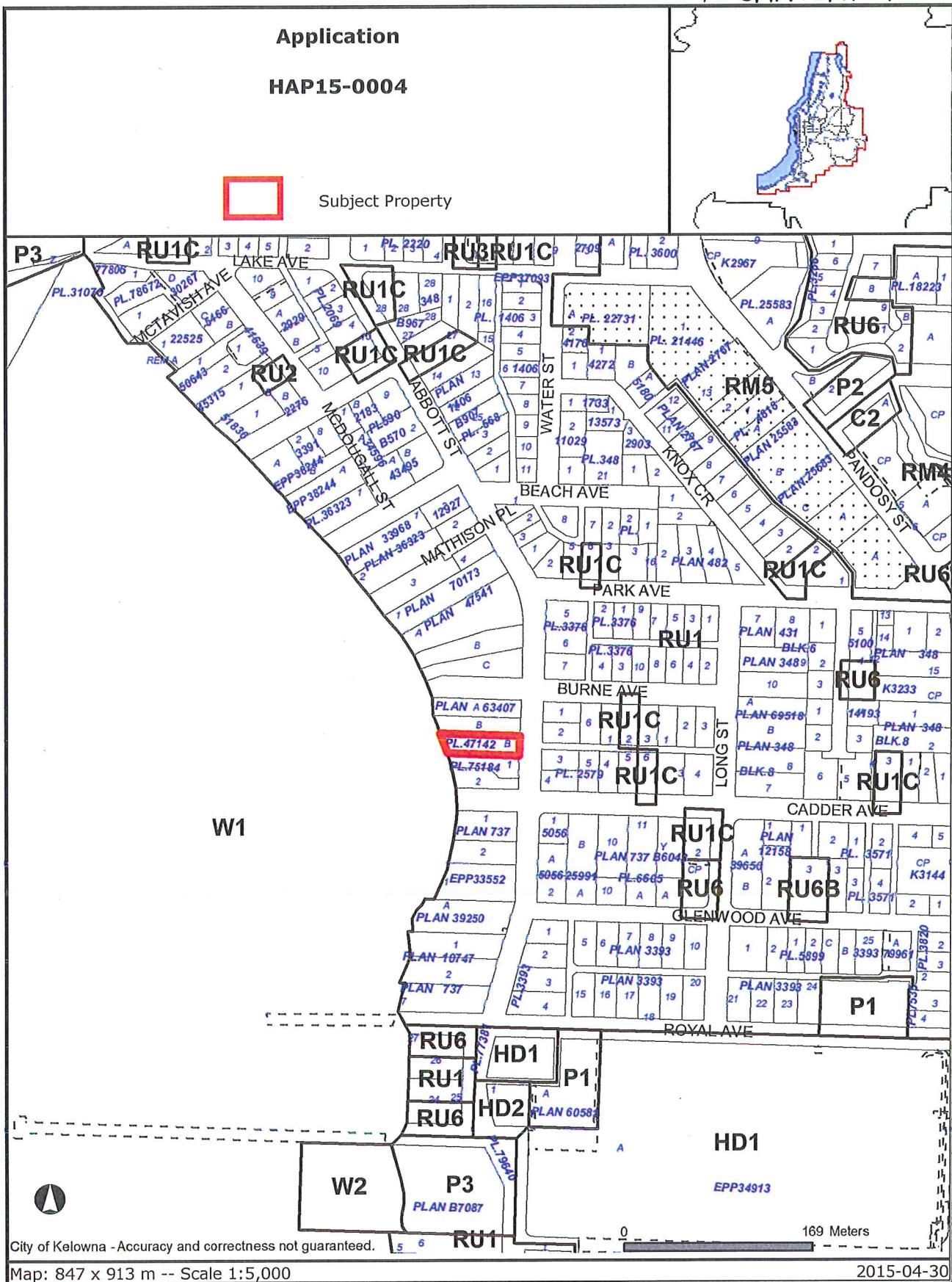
Ryan Smith, Community Planning Department Manager

⁴ City of Kelowna Official Community Plan, Policy 5.7.4 (Development Process Chapter).

Attachments:

- Attachment A: Subject Property Map
- Attachment B: Kelowna Heritage Register Evaluation of Criteria
- Attachment C: Kelowna Heritage Register Statement of Significance
- Attachment D: Application for Re-Consideration
- Attachment E: Site Photos
- Attachment F: Conceptual Site Plan, Floor Plans and Elevations
- Attachment G: Draft Heritage Alteration Permit No. HAP15-0004

Attachment A



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.



Kelowna Heritage Register Evaluation Criteria

The Kelowna Heritage Register Evaluation Criteria is based on 4 main principles:

- A. Architectural History:** style or type of building, structure or landscape; design attributes; construction methods/materials; notable designer or buildings.
- B. Cultural History:** historical association with important people or events; historical patterns within the city's history.
- C. Context:** context of each resource within the historical landscape or neighbourhood; compatibility with other buildings and groupings of buildings; symbolic importance as a local landmark.
- D. Integrity:** degree to which the resource has been altered since originally constructed and designed. The reversibility of alterations was also taken into account.

Each criterion is scored by considering one of four grades:

- Excellent (E)
- Very Good (VG)
- Good (G)
- Fair/Poor (F/P)



A. Architectural History

1. Style and/or Type

A building's style representative of the City's significant development periods; or a building type associated with a significant industrial, commercial or transport activity. The description of a building's style is a means of describing visual elements such as form, materials and ornamentation that are characteristic of a particular age or development period. A building which displays typical features of a particular style can be said to be of that style.

E	<ul style="list-style-type: none"> An excellent example of a style or type in Kelowna A rare surviving or very good example of a style or type in Kelowna One of the earliest, very good examples of a style or type in Kelowna
VG	<ul style="list-style-type: none"> A very good example of a style or type in Kelowna A good example of a style or type that is notably early in Kelowna
G	<ul style="list-style-type: none"> A good example of a style or type that is common in Kelowna
F/P	<ul style="list-style-type: none"> An average example of style or type that remains common in Kelowna

2. Design

A building's notable or special attributes of an aesthetic or functional nature. This may include massing, proportion, scale, layout, materials, detailing, colour, texture, fenestration, ornamentation or artwork.

E	<ul style="list-style-type: none"> A design which is outstanding in comparison with other examples
VG	<ul style="list-style-type: none"> A design which is equal to several other examples of recognizable superior or special quality
G	<ul style="list-style-type: none"> A design which incorporates several special aesthetic or functional attributes
F/P	<ul style="list-style-type: none"> A design of no special significance or quality.

3. Construction

A building's unique or uncommon building materials, or its historically early or innovative method of construction.

E	<ul style="list-style-type: none"> One of the earliest known uses of an important or special material or method A now rare and out-of-use material or method
VG	<ul style="list-style-type: none"> One of the earliest known surviving uses of an important or special material or method A notable or out-of-use material or method of which several examples survive
G	<ul style="list-style-type: none"> An out-of-use material or method which is typical of a period and still commonly found
F/P	<ul style="list-style-type: none"> An example of no particular significance

4. Designer / Builder

A building's architect, designer, engineer and/or builder who has made a significant architectural contribution to the city, province or nation.

E	<ul style="list-style-type: none"> An architect, designer, engineer and/or builder who was responsible for establishing or advancing a style, design or construction method that was significant and influential in the city, province or nation
VG	<ul style="list-style-type: none"> An architect, designer, engineer and/or builder whose works are of considerable importance to building and development in the city, province or nation.
G	<ul style="list-style-type: none"> An architect, designer, engineer and/or builder of some importance to building and development in the city, province or nation.
F/P	<ul style="list-style-type: none"> An architect, designer, engineer and/or builder, unknown or of no known significance.

B. Cultural History

1. Historical Association

A building's direct association with a person, group, institution, event, or activity that is of historical significance to the city, province or nation. Examples of a person, group, or event that could be considered significant to the history of the city, province, or nation include a well known pioneer, an organization important to the community's identity, a distinct ethnic or spiritual group, or an event that had an influence on the community. An activity such as industry, farming, recreation or labour organization would be considered significant if it was a major influence on the city.

E	<ul style="list-style-type: none"> Closely connected with a person, group, institution, event or activity that is of considerable importance
VG	<ul style="list-style-type: none"> Closely connected with a person, group, institution, event or activity that is of moderate importance
G	<ul style="list-style-type: none"> Connected with a person, group, institution, event or activity that is of moderate importance
F/P	<ul style="list-style-type: none"> Little or no known historical association

2. Historical Pattern

A building's association with broad patterns of local area or civic history including ecological, social, political, economic or geographic change. In urban settings, a building's recognition of street pattern and infrastructure.

E	<ul style="list-style-type: none"> A building that can be directly linked to the establishment of an historical pattern of civic importance
VG	<ul style="list-style-type: none"> A building that can be directly linked to the establishment of an historical pattern of local area importance One of earliest surviving examples in a local area
G	<ul style="list-style-type: none"> A building that provides strong evidence of an historical pattern of local area or civic importance
F/P	<ul style="list-style-type: none"> A building of little known association with a recognizable historical pattern

C. Context

1. Landscape / Site

An intact historical landscape or landscape features associated with an existing building, or a particularly notable historical relationship between a building's site and its immediate environment including original native trees and topographical features.

E	<ul style="list-style-type: none"> Landscape comprised of numerous, significant landscape features which are directly related to the building's style, design and history A notable and intact historical relationship between a building's site and the street, railway, waterfront, view or other geographic features which were part of the building's original function or traditional urban environment
VG	<ul style="list-style-type: none"> A landscape which includes several dominant features which are directly related to the building's style, design and history An altered but still strongly apparent historical relationship between a building's site and its immediate urban environment or related geographic features
G	<ul style="list-style-type: none"> A landscape which includes one or two important features which are directly related to the building's style, design and history An altered but recognizable historical relationship between a building's site and its immediate urban environment or related geographic features
F/P	<ul style="list-style-type: none"> No significant and recognizable landscape features or building /site relationship



2. Neighbourhood

A building's continuity and compatibility with adjacent buildings and visual contribution to a group of similar buildings.

E	<ul style="list-style-type: none"> • A building that is an important part of a visually prominent and notable group of buildings of similar style, type or age, in an area of compatible use
VG	<ul style="list-style-type: none"> • A building which forms part of a contiguous group of similar style, type or age in an area of compatible use
G	<ul style="list-style-type: none"> • A building which is part of a contiguous group of similar style, type or age in an area of incompatible use • A building which is not part of a contiguous group of similar style, type or age, but is in an area of compatible use
F/P	<ul style="list-style-type: none"> • A building which is not part of a group of buildings of similar style, type or age and is in an area of incompatible use

3. Visual / Symbolic Importance

A building's importance as a civic or local area landmark; a building's symbolic value to a neighbourhood or the city.

E	<ul style="list-style-type: none"> • A landmark building of importance • A building of significant symbolic value to the city
VG	<ul style="list-style-type: none"> • A major landmark within a local area • A building of symbolic importance to a local area
G	<ul style="list-style-type: none"> • A neighbourhood landmark • A building of symbolic importance to a neighbourhood
F/P	<ul style="list-style-type: none"> • A building of no landmark or symbolic significance

D. Integrity & Condition

Integrity: A measure of the impact of changes to the building on the appreciation of its style, design, construction or character. Alterations considered to be reversible (e.g. later sidings that can be removed) should tend to be scored as minor. Alterations which are not reversible, and which have resulted in loss of original building fabric, should tend to be scored as major.

Condition: A measure of the current state of the building (e.g. maintenance, mold, vandalism).

E	<ul style="list-style-type: none"> A building with no alterations that detract from its style, design, construction or character
VG	<ul style="list-style-type: none"> A building with one or more alterations, the effect of which is recognizable but does not significantly detract from the style, design, construction or character
G	<ul style="list-style-type: none"> A building with a major alteration and/or a combination of several minor alterations, the effect of which detracts from the style, design, construction or character
F/P	<ul style="list-style-type: none"> A building with alterations which greatly detract from the style, design, construction or character



The Scoring System

During development of the criteria, many buildings were evaluated to test their relative significance and to experiment with a range of numerical scores for excellent, very good, good and fair/poor values. The final numerical scores that were used during formal evaluation sessions are:

A. Architectural History	E	VG	G	F/P	
[Maximum category score of 40]					
1. Style/Type	35	18	12	0	40/40
2. Design	30	15	10	0	
3. Construction	15	8	5	0	
4. Designer/Builder	15	8	5	0	
<hr/>					
B. Cultural History					
[Maximum category score of 35]					
1. Historical Association	35	18	12	0	33/35
2. Historical Pattern	30	15	10	0	
<hr/>					
C. Context					
[Maximum category score of 25]					
1. Landscape / Site	15	8	5	0	22/25
2. Neighbourhood	20	10	6	0	
3. Visual/Symbolic Importance	25	13	8	0	
<hr/>					
D. Integrity & Condition	0	- 5	- 8	-15	-5
<hr/>					
Total Possible Score:	100				90/100

It should be noted that the scoring system shows maximum subtotals for each set of criteria, in order to maintain a balanced assessment of each building's significant attributes.

The Evaluation Process

Building Type	Range of Scores	Group	Heritage Register
Houses and Apartments	60 - 100	A	Yes
	40 - 59	B	Maybe
	20 - 39	C	No
Institutions, Churches, Schools, Commercial, and Industrial Buildings	70 - 100	A	Yes
	55 - 74	B	Maybe
	30 - 54	C	No



[HOME](#) [Search](#)

Heritage Building

Heritage Building Information



Kid: [385613](#) **Plan:** 47142 **Lot:** B **Block:**
[Map](#)
Civic Address: 2072 Abbott St
Neighbourhood: South Central
Building Name: McWilliams House
Conservation Area: Abbott Street
Date Built: 1931
Status: Active

Historical Significance:

From 1937 to 1947, T.F. McWilliams was City Police Magistrate and Stipendary Magistrate for the area. Muriel McWilliams, active in community and charitable work, was named Kelowna Citizen of the Year in 1956. McWilliams Rd. is named for T.F. McWilliams.

History:

Built (apparently for rental) in 1931 by William G. Scott, plumber and tinsmith; by 1937 owned by Wm. Lawrence (Laurie) Scott (probably the son), who was previously listed as apprentice at W.G. Scott and now proprietor of Scott Plumbing Works. In the late 1940s and 1950s occupied by T. Finley McWilliams (wife Muriel A.), a well-known Kelowna lawyer. McWilliams came to Kelowna with parents in 1904, later moved to Summerland and studied at Okanagan Baptist College. After service in WWI, articulated law in Vernon, and took over law practice of R.B. Kerr in Kelowna in 1921, which he operated until his death in 1966.

Architectural Significance:

This house is well maintained and the design is unique for Kelowna.

Style / Character:

Moderne / Spanish Colonial

Design Features:

This house is very square with a small protruding wing on the LH side with a 3 sash window with decorative designs above the windows. The roof over the front wing is black tile. The roof line at the top is curved. The trim around the windows is plain. The back (lake side) has fence work on the top area protruding outwards (decorative), as well as 9 pain windows with 2 - 3 sash across the front.

Architect:

unknown

Builder:

W.G. Scott

Building Construction:

wood

Foundation Construction:

concrete

Stories:

1.5

Roof Type:

flat - tile

Window types:

6/1 DH, 9 pain, the rest are newer

Exterior Wall Material:

stucco

Original Wall Material:

Exterior Wall Color: white with black trim

Landscape Features: The yard is very well maintained with large trees (fir), huge shrubs, evergreens and grass.

Associated Buildings:

Alterations alteration 1965; close in garage 1969; alterations 1975.

Documented:**Alterations****Observed:****Site Context:****Source:****Additional Notes and Comments:****Updates:****History Recorder Name:****Field Recorder Name:****Photographer:****Photo Reference:****Main Photo File:**

There is a new front door and some new windows.

mid block - west side of Abbott - house on LH is similar style - house on RH is a lot different and larger.

Street Files; Kelowna City Directories 1948, 1956; B.C. Directories 1927-1937; Telephone Directories 1936, 1941; Kelowna Street Names, p. 108; OHS 30:152, 36:181, 53:42-43.

The house and yard are very well maintained and preserved well.

Thomas Finley McWilliams married Muriel Adelaide Brockwell in Vancouver on June 25, 1922 (BC Vital Events)

David Dendy

Date Recorded: 2000-11-08

Leigh-Ann Carter

Date Recorded: 2000-07-13

Leigh-Ann Carter

Date Photographed: 2000-07-13

A1, A2

**Additional Photos:****CRHP Inventory:**

[Click Here](#)



[List](#) [Readme](#)

Heritage Building - CRHP

2072 Abbott St - McWilliams House

[Identification](#) [Formal Recognition](#) [Location](#) [Desc I](#) [Desc II](#) [Desc III](#) [Images](#) [Doc](#) [Admin](#) [Previous](#)

- E20 Place Description: The McWilliams House is a stucco-clad, one-storey split-level Spanish Colonial Revival style residence. It is located in Kelowna's historic Abbott Street neighbourhood, close to the city centre. The house is situated on lakefront property, with its principle entrance on Abbott Street. The yard is well maintained and provides an appropriate setting of mature coniferous trees, mature horse chestnut trees, shrubbery and manicured lawns.
- E21 Heritage Value: Built in 1931, the McWilliams House is valued as a rare and fine example of Spanish Colonial Revival architecture. The design is associated with Spanish Colonial prototypes seen in the United States between the two World Wars, when period revival styles reached the height of their popularity. Further impetus was given to the use of the Colonial Revival styles during the American Sesquicentennial in 1926, when patriotism was at a fever pitch and architectural fashion favoured the use of traditional, Colonial models. The house is a rarity in the Canadian context, as the Spanish Colonial Revival style was not commonly employed as a residential style in this country. Elements of the style articulated in this house include the asymmetrical facade with horizontal emphasis provided by the flat roof, smooth stucco walls and pale colour palette. Despite the use of traditional detailing, the house also demonstrates an affinity with modernistic trends of the day, expressed mainly in the building's simple geometry and massing.
- Additionally, this house is valued for its associations with the prominent McWilliams family. Thomas Finley McWilliams, a well-known local lawyer, occupied the house in the late 1940s and 1950s. After service in the First World War, McWilliams articulated in Vernon and took over the law practice of R.B. Kerr in Kelowna in 1921, which he operated until his death in 1966. McWilliams acted as the City Police Magistrate and Stipendiary Magistrate for the area. His wife Muriel, active in community and charitable work, was named Kelowna Citizen of the Year in 1956. McWilliams Road was named for T.F. McWilliams.
- E22 Character Defining Elements: Key elements that define the heritage character of the McWilliams House include its:
- location between the lakeshore and Abbott Street, with a main facade facing both frontages;
 - residential form, scale and massing as expressed by its one-storey split level massing with partial upper storey and asymmetrical rectangular plan;
 - flat roof with decorative stepped parapets;
 - concrete foundation and wood-frame construction with smooth stucco-clad exterior;
 - Spanish Colonial Revival details including the stucco exterior with step-buttressed corners, pantile roofing over the square front projection facing Abbott Street, exterior chimney with decorative scallop work, rooftop balcony at the lakefront facade, and recessed round blind arches over street and lakefront windows with geometric fan motif relief ornamentation;
 - additional exterior features such as side entrance with glazed patio door sheltered by a shed roof porch, enclosed verandah facing the lake and street entrance with large sidelights;
 - irregular and asymmetrical fenestration: single, double and triple assembly 2-over-1 and 6-over-1 double-hung wooden-sash windows, with mixed pattern upper sash, and circular side windows; and
 - associated landscape features such as a concrete retaining wall with steps, mature trees, shrubs and grassed lawns.

Laura Bentley

From: Nick Bevanda [NBevanda@ceiarchitecture.com]
Sent: Monday, July 06, 2015 3:21 PM
To: Stephen Fleming; David Negrin; Ryan Smith; Laura Bentley
Cc: Richard Jackson; Robert Cesnik
Subject: Re: 2072 Abbott Street: Heritage Alteration Permit (Demolition), Application # HAP15-0004,

Hi Stephen

The answer to your questions:

- The reasons you consider the staff decision inappropriate in this circumstance; and
- What you believe a more appropriate decision is for Council to consider.

Why is staff's decision inappropriate:

Forcing an owner to renovate a house that has marginal historical value, is not fair. There is precedence within the City of Kelowna where public institutions have been able to demolish historically designated homes, when their interests require it. In their case, the city has demonstrated flexibility, knowing the benefits out way the disadvantages. Renovating the home at 2072 Abbott Street is not an option, the owner is not prepared to invest hundreds of thousands of dollars for the city's benefit, as the renovated solution would only create a compromised living condition and would cost as much as a new home. As an alternative, we have explored other options with the city, such as constructing a second home on the property, but it does not fit.

What is a more appropriate decision for council to consider:

That council approve the application for demolition of 2072 Abbott Street for the following reasons:

1. The home has met it's effective life, in that it has structurally and materially deteriorated to the point where maintaining it no longer makes sense.
2. It is unhealthy and unliveable, without a major infusion of capital. The renovations costs would be substantial, similar to costs needed to construct a new home. The work would include stripping interior finishes down to the studs, upgrading and improving a sub structure with known dry-rot, new electrical and mechanical systems, drywall and finishes, including kitchen and bathroom fixtures. New windows are required as well as exterior finishes and roofing. A renovated home would only be a compromise that does not improve the quality of the neighbourhood or the lives of the inhabitants.
3. A well designed new home will have a positive impact to the neighbourhood as a substantial piece of architecture, be more impactful and complimentary then renovating the existing home. The contemporary new home, will be consistent with neighbourhood scale and proportion and provide greater benefit to the neighbourhood.
4. The new design will benefit local labour and suppliers.
5. The new design meets all the requirements of the existing zoning. We are not asking for any variances or special considerations.

I would be pleased to discuss any of the points further and look forward in discussing the issue with council. We would appreciate being scheduled sooner than later.

Best Regards,
 Nick

Nick Bevanda Architect AIBC, FRAIC, AIA, NCARB

Partner in Charge of Design | **CEI Architecture**

Make a difference.

500-1500 West Georgia Street, Vancouver, BC V6G 2Z6

T 604-687-1898 C 250-809-8584 F 604-682-5398

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From: Stephen Fleming <sfleming@kelowna.ca>

Date: Monday, July 6, 2015 at 1:16 PM

To: Nick Bevanda <nbevanda@ceiarchitecture.com>, David Negrin <david.negrin@aquilini.com>, Ryan Smith <rsmith@kelowna.ca>, Laura Bentley <LBentley@kelowna.ca>

Cc: Richard Jackson <jacksonrichard63@gmail.com>

Subject: RE: 2072 Abbott Street: Heritage Alteration Permit (Demolition), Application # HAP15-0004,

Nick,

Your application for re-consideration needs to include the following before a date is set:

- The reasons you consider the staff decision inappropriate in this circumstance; and
- What you believe a more appropriate decision is for Council to consider.

Once the information above is received, a mutually convenient Council meeting date will be scheduled. Given the timelines set out in the Heritage Procedures Bylaw (section 10.3) Council is scheduled to meet the following dates – the sooner a complete application is received, the sooner it can be scheduled:

Monday July 27

Monday August 10

Monday August 24

Please send the application information to my attention, and contact me should you have any further comment or questions.

Yours truly,

Stephen Fleming, City Clerk
City of Kelowna

From: Nick Bevanda [<mailto:NBevanda@ceiarchitecture.com>]

Sent: Monday, July 06, 2015 12:49 PM

To: David Negrin; Ryan Smith; Stephen Fleming; Laura Bentley

Cc: Richard Jackson

Subject: Re: 2072 Abbott Street: Heritage Alteration Permit (Demolition), Application # HAP15-0004,

Hi Stephen and Laura,

Please consider this email as a formal request to present our case to City Council to demolish the house at 2072 Abbott Street (Application #HAP15-0004). Please provide the date and time of the council meeting. If this email does not suffice, please provide the formal application form and I will fill it out and return it.

Sincerely,
Nick

Nick Bevanda Architect AIBC, FRAIC, AIA, NCARB

Partner in Charge of Design | **CEI Architecture**

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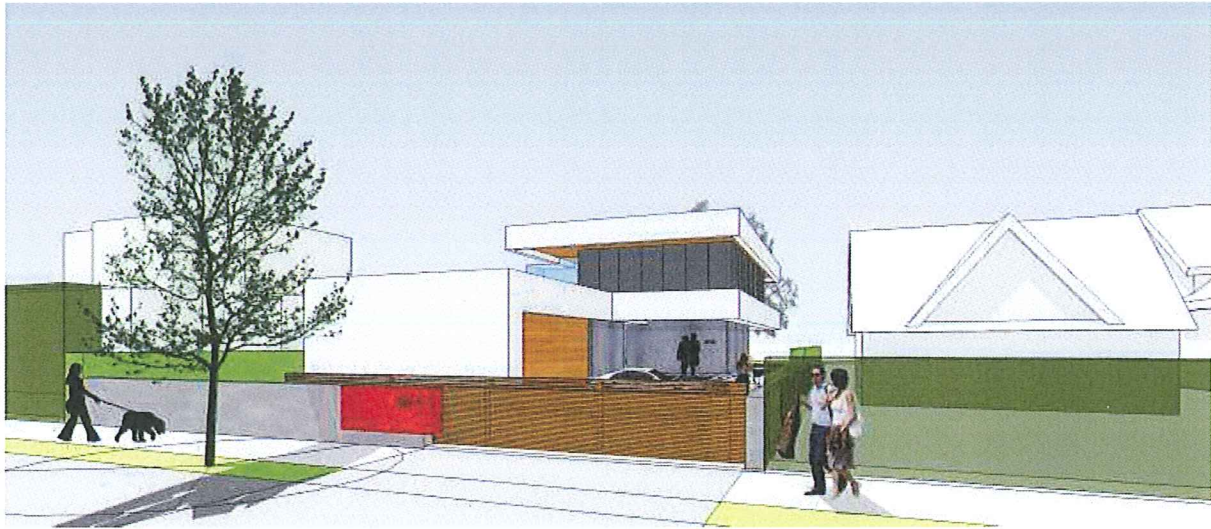
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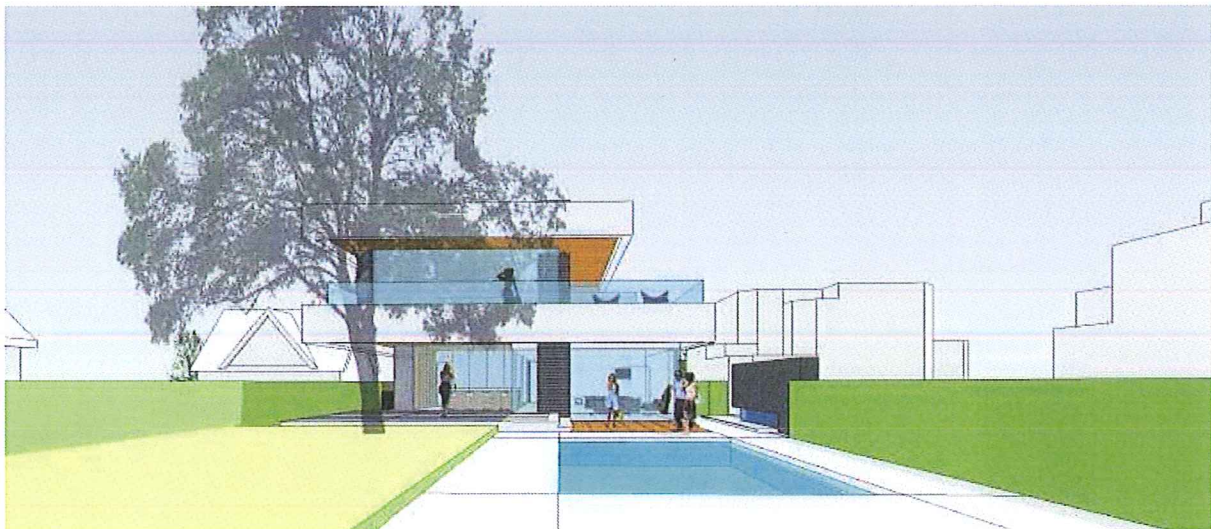


Additional Information: Three Dimensional Drawings for 2072 Abbott St.

Part of the Development Proposal Application for a Heritage Alteration permit.



East façade.



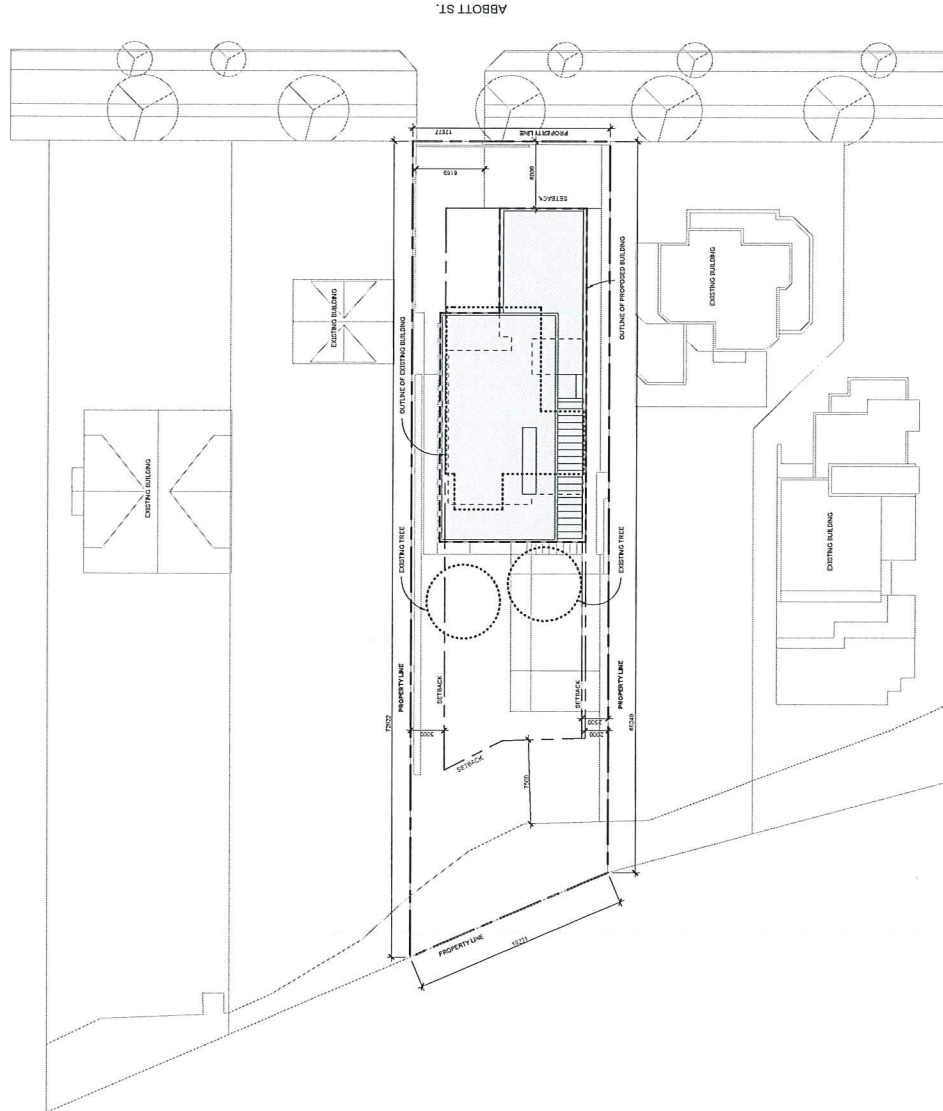
View looking east in the rear year.



Rear aerial perspective.



Front aerial perspective.



GENERAL INFORMATION

PROJECT NAME:	ABBOTT RESIDENCE
CIVIC ADDRESS:	2072 ABBOTT ST.
LEGAL DESCRIPTION:	PLAN 47142 LOT B
MUNICIPALITY:	KELOWNA B.C.
DEVELOPMENT PERMIT #	
BUILDING PERMIT #	

ZONING INFORMATION

ZONING:	R/U-1 - LARGE LOT HOUSING
SITE AREA:	120 m ²
SITE COVERAGE:	28%
BUILDING AREA	240 m ²
BUILDING HEIGHT:	MAY ALLOWABLE 6.0M OR 2.5 STOREYS PROPOSED: 6.74M
REQUIRED SETBACKS:	FRONT (EAST): 6M REAR (WEST): 6M SIDE (SOUTH): 2M SIDE (NORTH): 2M REAR (WEST): 7.5M PROPOSED: 6M PROPOSED: 6M PROPOSED: 2M PROPOSED: 2M PROPOSED: 7.5M

1	SITE PLAN
A1.01	SCALE: 1 : 200



220-1100 West Century Street
Vancouver, BC V6G 2Z6
TEL: 604-683-1899 FAX: 604-683-5339
www.ceiarchitecture.com

SCALE:

CONSULTANTS:

CEI is a registered professional architectural firm in the Province of British Columbia. The firm is a member of the British Columbia Association of Architects (BCAA) and the Canadian Council of Professional Engineers (CCPE). The firm is also a member of the International Association of Landscape Professionals (IALA) and the International Association of Professional Horticulturists (IAHPH). The firm is a member of the International Association of Professional Horticulturists (IAHPH) and the International Association of Professional Horticulturists (IAHPH).

METRIC

ALL DIMENSIONS ARE IN METERS
UNLESS OTHERWISE SPECIFIED

NO. 1
DATE: APR 2015
ISSUED FOR: Hanger Alameda Permit

PROJECT TITLE
ABBOTT RESIDENCE

2075 ABBOTT ST. VICTORIA
B.C. V8T 1A4

DRAWING TITLE

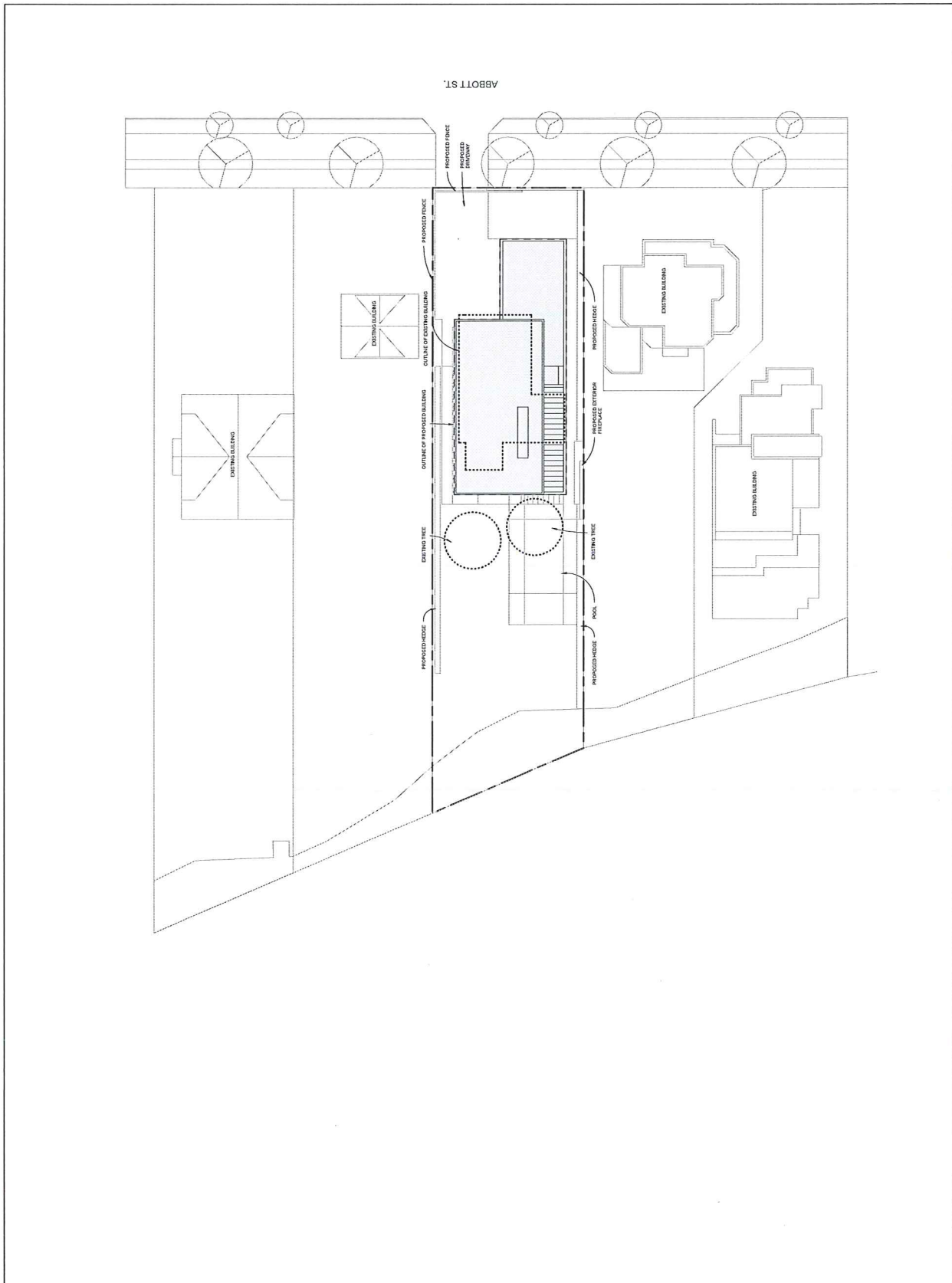
LANDSCAPE PLAN

CHECKED BY: Designer
DRAWN BY: Author

SCALE: 1:200
DATE: Issue Date

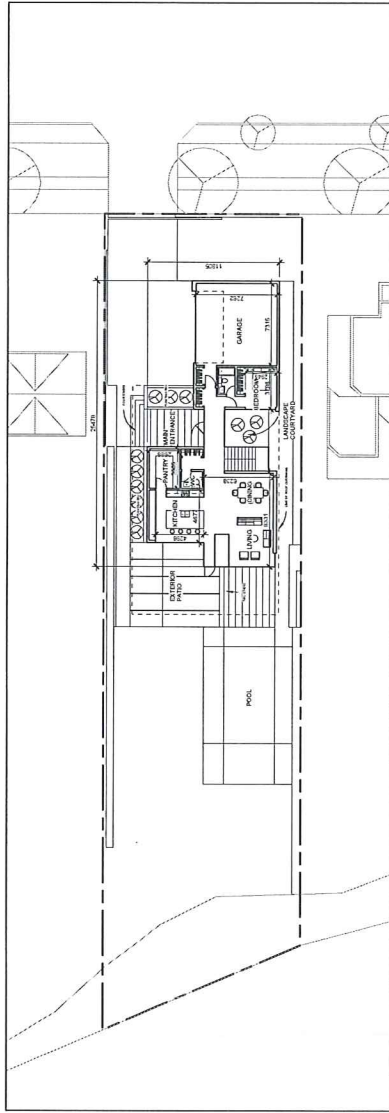
PROJECT NO.
DRAWING NO.

2013 087
A1.02

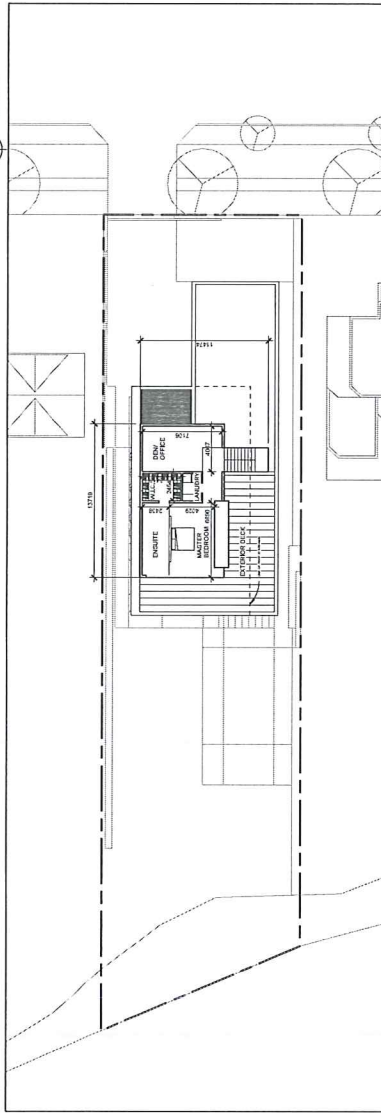


1 LANDSCAPE PLAN
A1.02 SCALE 1:200

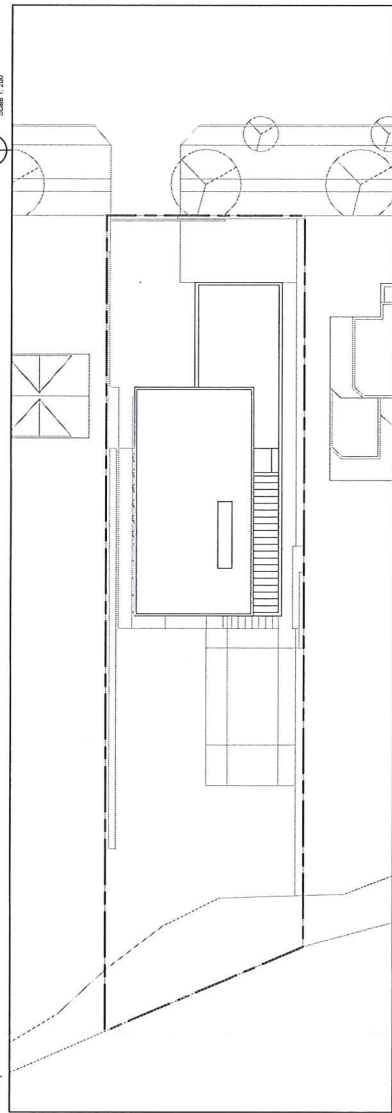
BUILDING DATA	
FLOOR	GROSS BUILDING AREA (M ²)
LEVEL 1	144 M ²
LEVEL 2	105 M ²
TOTAL	249 M ²



1. LEVEL 1 FLOOR PLAN
A2.00 | SCALE: 1:200



2. LEVEL 2 FLOOR PLAN
A2.00 | SCALE: 1:200



3. ROOF PLAN
A2.00 | SCALE: 1:200



100-100 West Georgia Street
Atlanta, GA 30303
TEL: 404-521-1111 FAX: 404-521-1111
www.ceiarchitect.com

SCALE

CONSULTANT

Project: 100-100 West Georgia Street, Atlanta, GA 30303
Architect: CEI Architecture
Owner: 100-100 West Georgia Street LLC
Date: 02/2015
Scale: 1:200
Drawing No.: 2013 087
Project Name: 100-100 West Georgia Street
Project Location: Atlanta, GA 30303
Project Status: In Progress
Project Budget: \$1,000,000
Project Completion: 12/2015

METRIC

ISSUED FOR
NO. 1
DATE 02/2015
DESCRIPTION
Heritage Alteration Permit

PROJECT TITLE
ABBOTT RESIDENCE

2013 ABBOTT RESIDENCE
A2.00 | SCALE: 1:200

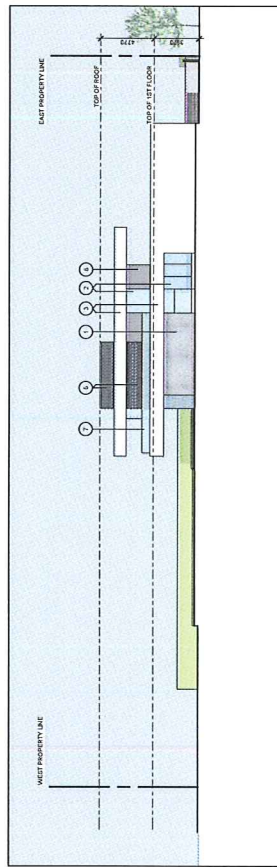
DRAWING TITLE

FLOOR PLANS

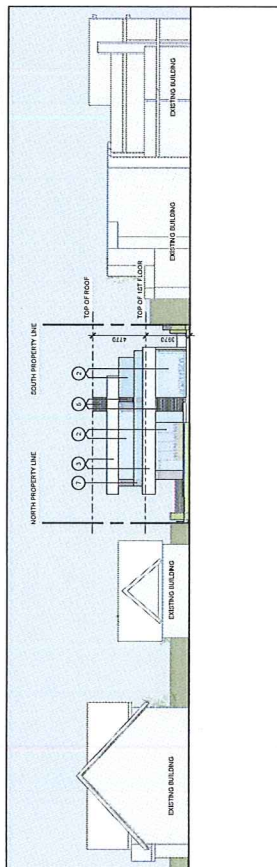
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SCALE: As Indicated
PROJECT NO.:
DRAWING NO.:
DATE: 02/2015
DATE: 02/2015
DATE: 02/2015

2013 087 A2.00

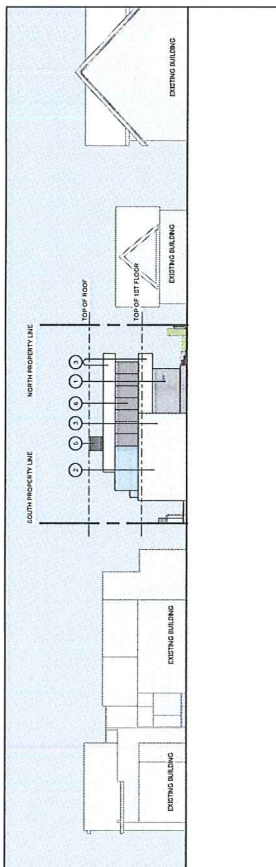
GENERAL NOTES
1. ALL RETAINING WALLS TO BE EXCAVATED TO EXISTING FINISH
2. EASTERNHIDE ARCHITECTURAL CONCRETE IN LIGHT SANDBLAST FINISH COMPLETE WITH REINFORCE BARS
3. (UNIT GUZING)
4. STUCCO COLOUR WHITE
5. WOOD BEING SARGE DOOR
6. CORRUGATED METAL CLADDING - PAINTED
7. METAL PANEL - PAINTED
8. SOAK GUARDIAN



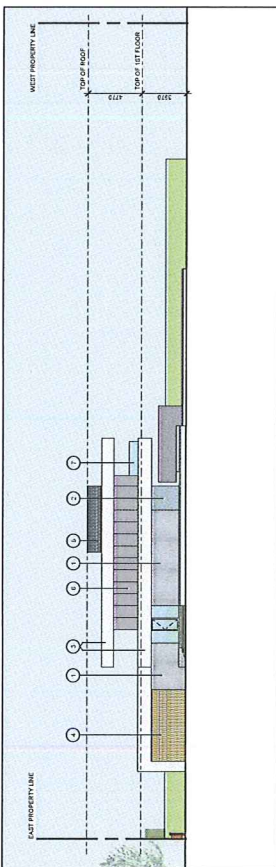
1	SOUTH ELEVATION
---	-----------------



2	WEST ELEVATION
---	----------------



3	EAST ELEVATION
---	----------------



4	NORTH ELEVATION
---	-----------------

CEI Architecture
500-1500 West Georgia Street
Vancouver, BC V6G 2Z6
TEL 604-687-1898 FAX 604-687-5398
www.cei3d.com

SEALS:

CONSULTANTS:

METRIC

NO.	DATE	ISSUED FOR	DESCRIPTION
1	APR 1968		Heritage Alteration Permit

PROJECT TITLE
ABBOTT RESIDENCE

2072 ABBOTT ST, KELOWNA

READING TIME

EXTERIOR ELEVATIONS

CHECKED BY: Checker	DRAWN BY: Author
SCALE: As indicated	DATE: Issue Date
PROJECT NO.	DRAWING NO.

2013 087 A4.00

CITY OF KELOWNA

APPROVED ISSUANCE OF A:

☐ Heritage Alteration Permit No.: HAP15-0004

EXISTING ZONING DESIGNATION: RU1 – Large Lot Housing

ISSUED TO: Resear Ltd.

LOCATION OF SUBJECT SITE: 2072 Abbott Street

	LOT	BLOCK	D.L.	TOWNSHIP	DISTRICT	PLAN
LEGAL DESCRIPTION:	B	-	14	-	ODYD	KAP47142

SCOPE OF APPROVAL

- ☐ This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.
- ☐ This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.
- ☐ Applicants for a Heritage Alteration Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.

1. TERMS AND CONDITIONS:

THAT the demolition and removal of all structures and appurtenances on the subject property, located at 2072 Abbott Street, be permitted;

AND THAT this Heritage Alteration Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. DEVELOPMENT:

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development Permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit is not transferrable unless specifically Permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

THIS Permit IS NOT A BUILDING Permit.

3. APPLICANT'S AGREEMENT:

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Heritage Alteration Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Community Planning Department Manager.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner/Authorized Agent

Date

Print Name in Bold Letters

Telephone No.

4. APPROVALS:

HERITAGE ALTERATION PERMIT AUTHORIZED BY COUNCIL ON THE 28th DAY OF JULY 2015.
ISSUED BY THE COMMUNITY PLANNING DEPARTMENT OF THE CITY OF KELOWNA THE _____ DAY OF
_____ 2015 BY THE COMMUNITY PLANNING DEPARTMENT MANAGER.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

REPORT TO COUNCIL



Date: 7/28/2015
RIM No. 0940-00
To: City Manager
From: Urban Planning Department (AC)
Application: DP15-0132 & DVP15-0133 **Owner:** City of Kelowna
Address: 650 Clement Ave **Applicant:** Kasian Architecture
Subject: Development Permit and Development Variance Permit Application
Existing OCP Designation: EDINST - Educational / Major Institutional
Existing Zone: P1 - Major Institutional

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP15-0132 for Lot A, District Lot 139, ODYD, Plan EPP39101 except Plan EPP50977, located on 650 Clement Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. Prior to issuance of the Building Permit, the requirements of the Development Engineering Branch must be satisfied as described in the attached report dated June 26th 2015";
5. That the applicant be required to post with the City, a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;

AND THAT Council authorize the issuance of Development Variance Permit No. DVP15-0133 for Lot A, District Lot 139, ODYD, Plan EPP39101 except Plan EPP50977, located on 650 Clement Avenue, Kelowna, BC.

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with the drawings attached to the Development Variance Permit described in Schedule "D":

Section 8.5 (Table 8.1) General Provisions

To vary the minimum parking stalls from 954 parking stalls required to 289 parking stalls proposed.

Section 7.6.1 (b & c) Minimum Landscape Buffers

To vary the minimum level 2 and level 3 landscape buffer width from 3.0m required to between 1.6m and 3.0m as proposed and described within schedule "D".

Section 8.3.5 Development Standards - Vehicle Parking and Loading

To vary the minimum required landscape island area from 2m² per parking stall and loading bay (totalling 1,916 m²) to 115m² total area.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit / Development Variance Permit Applications in order for the permit to be issued.

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Permit and a Development Variance Permit for the new RCMP building located at 650 Clement Ave.

3.0 Urban Planning

Staff are supportive of the Development Permit and Development Variance Permit. The new Kelowna Police Services building is located within two Development Permit areas (City Centre Revitalization and Arterial - Clement) and will be located prominently on the north side of Clement Avenue between St. Paul and Richter Streets, supporting the downtown area and providing good access to all parts of the City. The Development Permit proposal adheres to many of the OCP design guidelines. The public plaza on the corner of Richter Street and Clement Avenue creates an inviting open space suitable for gatherings beneath a double height entrance wooden canopy which clearly marks the building's main entrance. All public spaces were designed to provide a sense of physical and psychological security. Shaded seating, primary and secondary circulation, and refuge from the streetscape will support site-appropriate activities such as circulation, lunch-break seating, and quiet conversation areas. Through this design approach, daytime security is provided in part by the building occupants and visitors themselves.

The brick cladding used on the façade not only addresses the design guidelines of the downtown plan but relates to Okanagan aesthetic and the look and feel of the landscape. Furthermore the use of architectural elements such as the grand entrance canopy, recessed entry and glazing at the entrance lobby creates an interesting, pedestrian friendly interface with the streetscape. Through the use of local materials and colours, simplified massing and an emphasis on human scale proportions, the design establishes a pedestrian friendly interface with the surrounding streetscape.

The design does not meet the OCP guideline of 1 tree on-site for every 4 parking stalls. However, the trees along Clement Avenue and within the secure fleet parking area will screen the outdoor space from the street during spring, summer, and fall and an outdoor tree-lined pedestrian link connects the building to parking areas on the west. The building's use of landscape further minimizes the visual impact of the facility towards the residential block and creates a sense of

privacy for building occupants. Trees and landscaping are focused along the street frontages and the deficiency of trees is within the interior parking lot area located on the north side of the property away from direct pedestrian views.

The Zoning Bylaw requires 954 parking stalls, which is in Staff's opinion overestimates the number parking stalls that are practically needed. The use category within the Zoning Bylaw is "Emergency and Protective Services" which is an infrequently used category and shows that some non-residential parking rates established decades ago are in need of updating. The current proposal in the 2016 Work Plan is to review these rates in the Zoning Bylaw. Examples of other municipalities include:

- The City of Coquitlam.
 - Requires 1 parking stall per 40m² for civic use.
 - Using this rule the RCMP project would require 239 parking stalls.
- The City of West Kelowna
 - Requires 2.5 parking stalls per 100m² for fire, police, and ambulance service.
 - Using this rule the RCMP project would require 239 parking stalls.
- The City of Langford
 - Requires 1 parking stalls per employee for police.
 - Using this rule the RCMP project would require approximately 280 parking stalls.

The RCMP have estimated that 289 parking stalls should be adequate for their use and is based on the RCMP operations during peak traffic times.

To be able to fit the RCMP's floor area needs within 3 stories and to provide the desired parking based upon the RCMP's detailed analysis, it was necessary to apply to reduce some of the landscape buffer widths as described within Schedule 'D'. Further, the Zoning Bylaw requires landscaped islands within the parking lot when a project provides more than 50 at-grade parking stalls. The minimum area identified in the Zoning Bylaw is 2.0m² of landscaped island area per required parking and loading space. This would lead to a minimum required area of 1,916 m² and would represent 12% of the entire site. Clearly, this is inappropriately onerous and the RCMP have provided a landscape area of 115 m².

In fulfillment of Council Policy No. 367 respecting public consultation, the applicant undertook neighbour consultation by individually contacting the neighbours as described in the attached *Schedule 'A'*.

4.0 Proposal

4.1 Project Description

The proposed building is a three-storey structure with program elements distributed to the north and south of a central east-west axis that functions as a circulation spine. The building form has been sculpted at the intersection by inseting the ground level to enhance public transition into the building and create opportunity for covered outdoor public space. The upper level has also been set back to reduce the scale of the building on the corner. Feature elements including the wood canopies on the ground level and wood canopies over the outdoor balcony on the upper level.

Strong durable materials characterize the base of the building with brick cladding extending along Clement Avenue and Richter Street along grade responding to the pedestrian nature of the

streets. The brick further mimics the rustic landscape tone of the Okanagan and relates to the surrounding cultural landscape. Wood has been expressed intermittently, especially around the entrances and soffits of public areas to convey a sense of warmth and tactility. A lighter, metal cladding and high-performance glazing systems employed on the upper levels will feature contrasting random and ordered patterns. The neutral grey tones of the metal panels reflect the colors of the region while random reddish brown relate to the bare hills of the Okanagan. As the building transitions towards the secure compound, the cladding shifts to a galvalume-finished profiled metal-panel system that will require minimal maintenance over an extended life span. This system will be appropriate to the daily wear and tear of police operations within a secure compound.

The basic rectilinear form of the building has been shaped and molded specifically to fit the evolving, urban fabric of Kelowna's downtown as well as to optimize key programmatic relationships that best facilitate the diverse work of the police force within a highly secure environment. Strategies for expansion have also been a critical consideration shaping the design so that future additions can be achieved efficiently, cost-effectively and without interruption to ongoing operations.

The unifying feature of the design for the new Kelowna Police Services Building is a distinct east-west central spine which functions as the primary organizing principle for all design elements. This central spine unifies building systems, components, structure, circulation, and orientation into a comprehensive, highly-intuitive, ordered, and high-performance workplace. The central axis further creates opportunities for simple massing and an ordered, efficient, and modular structural system. Shaped in a long rectangular form, the building is subdivided into north and south zones to accommodate key program spaces and relationships on three levels. This ordered composition responds to the specific needs of policing in the context of a downtown urban neighbourhood. The new development will allow for more police officers, support staff and infrastructure needed to create a safer community for its citizens.

4.2 Site Context

The subject property is located on Clement Avenue. The subject property has a Future Land Use designation of EDINST - Educational / Major Institutional in the Official Community Plan and the property is within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I4 -Central Industrial	Industrial
East	I4 -Central Industrial I2 -General Industrial	Industrial
South	RU2 - Medium Lot Housing	Residential
West	I4 -Central Industrial	Industrial

4.3 Subject Property Map: 650 Clement Ave



5.0 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	P1 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
	Principal Bldgs	Principal Bldgs
Height	Max 22.0 m & 6 stories	16.9 m & 3.0 storeys
Front Yard	Min 6.0 m	13.0 m
Side Yard (north)	Min 4.5 m	19.0 m
Flanking Side Yard (south)	Min 6.0 m	4.5 m ^①
Rear Yard	Min 7.5 m	81.4 m
Site coverage of buildings	Max 50 %	26.3 %
FAR	2.0	0.59
Other Regulations		
Min Parking Requirements	10.0 parking stalls per 100m ² GFA for Emergency and Protective Services Total GFA of 9537m ² = 954 required parking stalls	289 parking stalls ^②
Min Bicycle Parking Requirements	Class 1: 1 per 25 employees (10) Class 2: 5 per building public entrance (5)	Class 1: (10) Class 2: (5)

Zoning Analysis Table		
CRITERIA	P1 ZONE REQUIREMENTS	PROPOSAL
Setbacks to Parking:		
Front (east)	2.0m	2.0m
Side (north)	0.0m	0.0m
Flanking side (south)	2.0m	2.0m
Rear (west)	2.0m	2.1m
Landscape Buffer	Level 3 buffer: 3.0m Level 2 buffer: 2.0m	1.6m - >3.0m ^③ 1.4m - >2.0m
Landscape Island	2m ² per parking stall & loading bay = 1,916 m ²	115 m ² ^④
Min Loading Bays	1 per 2,800m ² of GFA = 3.4 loading bays	4 loading bays
<p>① Variance not needed due to Section 1.8.1(a) of the Zoning Bylaw.</p> <p>② Variance requested from 954 parking stalls required to 289 parking stalls proposed.</p> <p>③ Variance requested to reduce the landscape buffer width as described in schedule "D"</p> <p>④ Variance requested to reduce the minimum landscape island area requirement.</p>		

6.0 Current Development Policies

6.1 Kelowna Official Community Plan (OCP)

Relevant Development Permit Guidelines

Ch14 / S1.1 - weather Incorporate landscaping and building form and character that is distinct to Kelowna and the Central Okanagan and conveys a sense of authenticity;

Ch.14 / S.3.2 - Develop visual and physical connections between the public street and private buildings (e.g. patios and spill-out activity, views to and from active interior spaces, awnings and canopies);

Ch.14 / S.4.2 - Ensure developments are sensitive to and compatible with the massing of the established and/or future streetscape;

Ch.14 / S4.4 - Utilize landscaping treatments to further soften the mass of building form (e.g. strategic placement of trees, shades and vines, trellis and arbours, along with surface materials such as pavers);

Ch.14 / S.5.1 - Design for human scale and visual interest in all building elevations. This can be achieved principally by giving emphasis to doors and windows and other signs of human habitation relative to walls and building structure;

Ch.14 / S.5.6 - Incorporate roof overhangs, and the use of awnings, louvers, canopies and other window screening techniques;

Ch.14 / S.6.2 - Provide visually prominent, accessible, and recognizable entrances through attention to location, details, proportions, materials, and lighting that act to personalize or lend identity to a building;

Ch.14 / S.8.8 - Locate parking areas to the rear of buildings, internal to the building, or below grade;

7.0 Technical Comments

Building & Permitting

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s)
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - Access to the roof is required per NFPA and guard rails may be required and should be reflected in the plans if required.
- Mechanical Ventilation inlet and exhausts vents are not clearly defined in these drawings for the enclosed parking storey. The location and noise from these units should be addressed at time of Development Permit.
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application.
- Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the floor areas, number of required exits per area, accessibility etc
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation are being applied to this structure at time of Permit application

Development Engineering

- See attached memorandum June 26th 2015.

8.0 Application Chronology

Date of Application Received:	June 4 th 2015
Date of Neighbourhood Consultation Received (re: variance):	June 26 th 2015

Report prepared by:

Adam Cseke, Planner

Reviewed by:



Ryan Smith, Urban Planning Manager

Attachments:

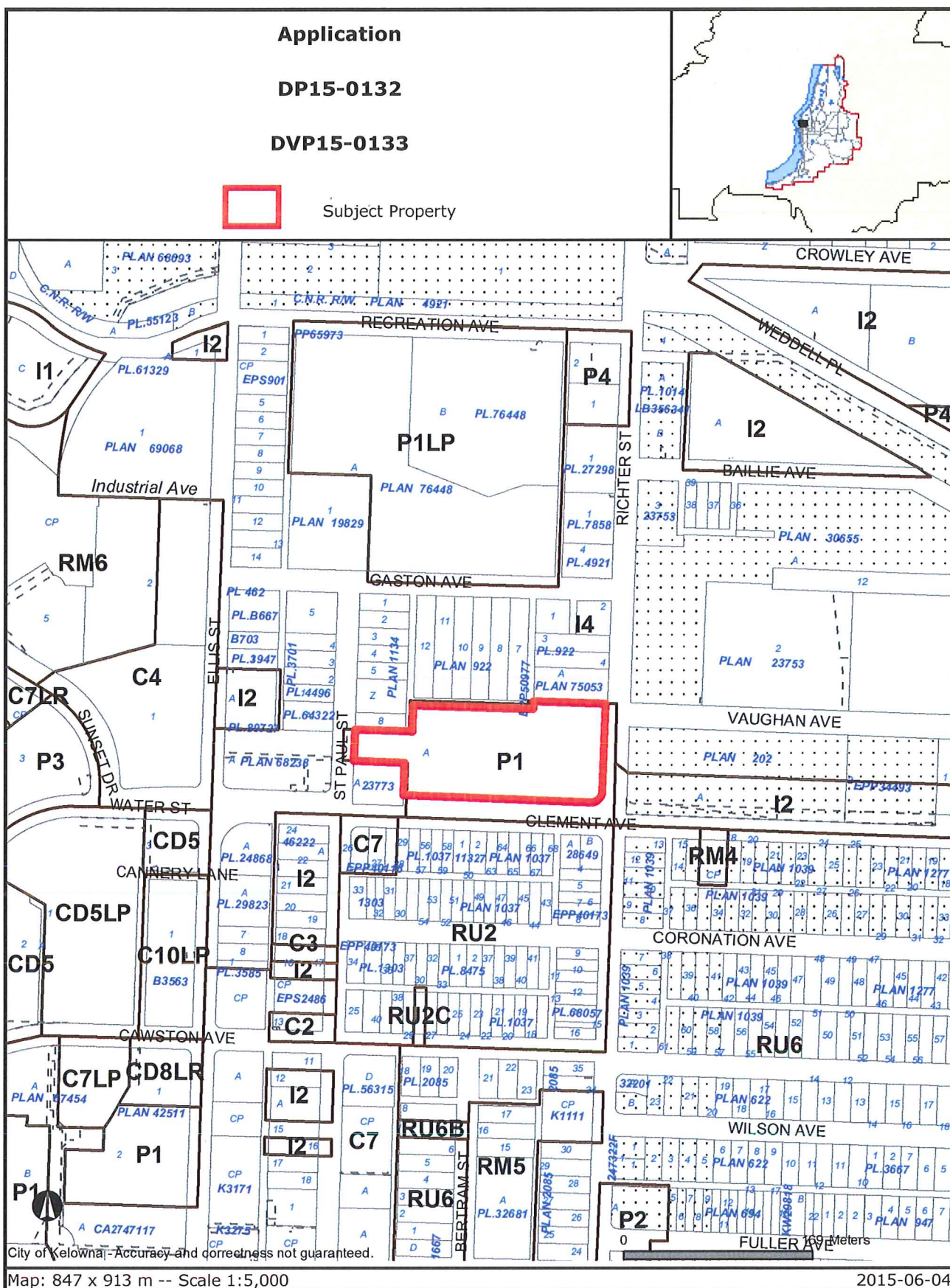
Subject Property Map

Development Engineering Memo

Neighbourhood Consultation

Draft Development Permit / Development Variance Permit

- Schedule 'A'
 - Site Plan
 - Floor Plan
- Schedule 'B'
 - Elevations
 - Colour Board
- Schedule 'C'
 - Landscape Plan



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA

MEMORANDUM

Date: June 26, 2015

File No.: DP15-0132

To: Urban Planning (AC)

From: Development Engineer Manager (SM)

Subject: 650 Clement Ave

RCMP Building

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. **General.**

- a) All the offsite infrastructure and services upgrades are addressed in the Development Engineering Report under file Z14-0001.
- b) It should be noted that the bus zone on Clement Ave along this frontage will be a regular stop on the curb lane/bike lane. We do not require a pullout.



Steve Muenz, P. Eng.
Development Engineering Manager

SS

CITY OF KELOWNA
MEMORANDUM

Date: June 26, 2015
File No.: DVP15-0133
To: Urban Planning (AC)
From: Development Engineering Manager (SM)
Subject: 650 Clement Ave RCMP Building

Development Engineering comments and requirements regarding this development variance permit application are as follows:

This development variance permit application to vary;

1. Number of parking stalls.
- ~~2. Number of trees.~~
- ~~3. Side yard setback to a flanking street.~~
4. Landscape buffer level 3.
5. Landscape buffer level 2.
6. Landscape island parking area.

does not compromise any municipal services.



Steve Muenz, P. Eng.
Development Engineering Manager

SS

2015-05-22

Development Permit Application covering the flowing property:
650 Clement Avenue, Kelowna BC

Legal Address:
650 Clement Avenue
Plan number: EPP39101
Lot Number: A
Property Type (Zoning): P1

Kelowna Police Services Building

Design Rationale

Project Overview

Constructed in 1962, the existing Kelowna RCMP building located on Doyle Avenue has faced numerous renovations and expansions over the last years in an attempt to meet the challenge of its growing need for space. The functional as well as physical constraints of the building and site made the main building unfeasible to grow any further. As a result the decision was made to construct a new facility in the heart of downtown Kelowna. This would provide the opportunity for the growing RCMP force the space required to ensure efficiency, flexibility, functionality and as a result a safer Kelowna. The new building will also provide opportunities for alternative use of the Windsor Road facility, other uses of offsite storage locations and the expansion of the downtown's cultural district and other functions on Doyle Venue that would better fit within the cultural district.

Envisioned as a community asset and a significant opportunity to add to the growing downtown Kelowna urban fabric, the new Kelowna police services facility is on one hand, a highly secure police facility with a mandate to build on the legacy of the RCMP while on the other it is a highly visible civic building with a mandate to build on the legacy of a vibrant lakeside community. The basic rectilinear form of the building has been shaped and molded specifically to fit the evolving, urban fabric of Kelowna's downtown as well as to optimize key programmatic relationships that best facilitate the diverse work of the police force within a highly secure environment. Strategies for expansion have also been a critical consideration shaping the design so that future additions can be achieved efficiently, cost-effectively and without interruption to ongoing operations.

The unifying feature of the design for the new Kelowna Police Services Building is a distinct east-west central spine which functions as the primary organizing principle for all design elements. This central spine unifies building systems, components, structure, circulation, and orientation into a comprehensive, highly-intuitive, ordered, and high-performance workplace. In essence, the central spine is the 'DNA' that creates a timeless, flexible and adaptable civic building that will facilitate the work of the RCMP and become an important catalyst for the continued expansion of the City to the north. The central axis further creates opportunities for simple massing and an ordered, efficient, and modular structural system. Shaped in a long rectangular form, the building is subdivided into north and south zones to accommodate key program spaces and

relationships on three levels. This ordered composition responds to the specific needs of policing in the context of a downtown urban neighbourhood. The new development will allow for more police officers, support staff and infrastructure needed to create a safer community for its citizens.

Site Characteristics and Design

The New Kelowna Police Services Building will be located prominently on Kelowna's picturesque downtown on the North side of Clement Avenue between St. Paul and Richter Streets, supporting the downtown area and providing good access to all parts of the City.

The public plaza on the corner of Richter and Clements avenue creates an inviting open space suitable for gatherings beneath a double height entrance wooden canopy which clearly marks the building's main entrance through its bold presence. It is intended that all public spaces be designed to provide a sense of physical and psychological security. As such, a critical design intent of the public plaza will be to convey a sense of tranquility and safety. Shaded seating, primary and secondary circulation, and refuge from the streetscape will support site-appropriate activities such as circulation, lunch-break seating, and quiet conversation areas. Through this design approach, daytime security is provided in part by the building occupants and visitors themselves.

The notion of the central spine has further been extended to the building's exterior and site. An outdoor tree-lined pedestrian link connects the building to parking areas on the west. The building's use of landscape further minimizes the visual impact of the facility towards the residential block and creates a sense of privacy for building occupants. The landscape design incorporates drainage swales along the Richter Street and Clement Avenue building frontages. The storm-water runoff from all unsecured parking areas will drain to the swales. This will allow for additional infiltration over time as the runoff flows to the outlets and provides an additional detention component to the storm system, thereby reducing the storm-water flows off-site.

The orientation of the new building allows for breathtaking views west to Okanagan Lake and the city while taking advantage of an abundance of daylight within the space. The outdoor area incorporates a shading trellis and will be utilized as the outdoor eating area to promote use throughout the summer. The trees along Clement Avenue and within the secure fleet parking area will screen the outdoor space from the street during spring, summer, and fall. The east-west orientation of the building will facilitates highly efficient parking and vehicle circulation through the secure outdoor parking compound to the north and west of the new building. Vehicles can circulate uninterrupted through the secure compound from Richter Street to Paul Street with two turns. In this new configuration, the placement of the detention Block to the northeast also provides screening to much of the secured compound from Richter Street and Clements Avenue.

The Kelowna Community Plan

The design for the New Kelowna Police Services has been influenced by key certain key principles noted in the official community plan. To directly quote from the

document : “Incorporate a level of detailing that conveys a sense of craftsmanship consistent with the era in which original downtown buildings were built (i.e., incorporate architectural features such as quoins, traditional brick patterns, pediments, keystones, recessed entrances, etc.)”. As such the new RCMP building has been designed with a sense of authenticity reflective of the distinct architectural character of the neighbourhood and well integrated into the existing built environment of the surrounding.

The brick cladding used on the façade not only addresses the design guidelines of the downtown plan but relates to Okanagan aesthetic and the look and feel of the landscape. Furthermore the use of architectural elements such as the grand entrance canopy, recessed entry and glazing at the entrance lobby create an interesting, pedestrian friendly interface with the streetscape. Through the use of rich local materials and colours, simplified massing and an emphasis on human scale proportions, the new design establishes a pedestrian friendly interface with the surrounding streetscape while contributing to the Kelowna brand.

Building Form, Character and Materials

The proposed building is a three-storey structure with program elements distributed to the north and south of a central east-west axis that functions as a circulation spine. Our approach has been to express a general sense of the functionality of the building on the exterior to create an appropriate urban texture, to minimize the apparent scale of the building, and to reinforce the intuitive nature of the building. To this end, we envision patterns of openings and solid materials punctuated by expressive features marking key entrances and creating a civic presence at the intersection of Clement and Richter Streets. The building form has been sculpted at the intersection by inseting the ground level to enhance public transition into the building and create opportunity for covered outdoor public space. The upper level has also been set back to reduce the scale of the building on the corner. Feature elements including the wood canopies on the ground level and over the outdoor balcony on the upper level bring interest to the design and reinforce commitment to BC’s Wood First strategy that has been embraced by the City. The corner element is enhanced further by introducing vertical brick elements that ‘bookend’ the corner in reference to the strength, solidity and enduring legacy of the RCMP.

Strong, durable materials characterize the base of the building with brick cladding extending along Clement Avenue and Richter Street at grade level which respond to the pedestrian nature of the streets. The brick further mimics the rustic landscape tone of the Okanagan and relates to the surrounding cultural landscape. Wood has been expressed intermittently, especially around the entrances and soffits of public areas to convey a sense of warmth and tactility. A lighter, metal cladding and high-performance glazing systems employed on the upper levels will feature contrasting random and ordered patterns. The neutral grey tones of the metal panels reflect the colors of the region while random reddish brown relate to the bare hills of the Okanagan. As the building transitions towards the secure compound, the cladding shifts to a galvalume-finished profiled metal-panel system that will require minimal maintenance over an extended life span. This system will be appropriate to the daily wear and tear of police operations within a secure compound.

The building responds to the surrounding context by both expressing the interior functional requirements of the building as well as the exterior contextual influences using materials and color on the façade. Each elevation has been designed in response to its unique context within the larger urban context. As a result a variety of materials and massing articulations have been employed to establish an exclusive identity for each elevation:

South Elevation:

The South elevation takes into consideration the context by dividing the façade into elements which respond to the residential context on Clement street. The façade has been divided into three segments: the secure corner office to the west, the central office band and the glazed east entrance corner.

The lower part of the South façade utilizes a dark brown brick cladding grounding the building to portray a strong plinth and base for the offices above. To soften up the edge condition of the building, low shrubs and greenery have been planted along the base of the building. Above this base are metal panels in grey tones with randomized Indian red panels that unify both the darker and lighter grey panels on the two facades.

Glazed Window boxes provide interest points along the façade. On the west corner a horizontal glazed box offers views up Clement Street and a counterpoint to the two storey entrance with wooden columns. In the central part of the building a two storey window box with light bluish green spandrel is strategically located off centre of the office block to provide balance to the overall composition.

North Elevation:

The North façade utilizes a durable 38mm deep trapezoidal metal panel assembly lower façade that expresses the functional requirements of garages and storage areas facing the interior parking lot. On the upper floors the facades express a more delicate façade with 22m deep corrugated steel that reflects light. Long ribbon window *bands* express the horizontality of the landscape, elevation and building form.

West Elevation:

The west elevation is divided into the north section inside the secure police area where the facade is expressed in 22m deep corrugated steel panels and the exterior façade towards the public streets that engages with the south elevation. A central glazed element acknowledges the circulation spine within.

East Elevation:

The East elevation is anchored by the brick-clad stair tower and a brick wall leading from the visitor parking to the public entrance. On the left of the brick stair tower is the main entrance with reception and waiting area. The wood clad soffit of the main roof floats over the main entrance, supported by slender wood columns that provide the back drop for the public plaza. The superintendent's office is located on the third floor corner overlooking the corner of Richter Street and Clement Avenue.

Overall the building expresses the many contrasting aspects of its functions: open/closed, hard/soft, public and private while retaining a solid civic stature that acknowledges its function as public service for decades to come.

Sustainability

As a result of our sustainable design philosophy, operational lifecycle costs have been reduced. Our proposed facility for the Kelowna Police Service Building consumes 30% less energy when compared to the ASHRAE 90.1 2010 baseline-building thereby exceeding the DRS requirements by 20%. These savings are achieved by using a systems approach to integrating off-the-shelf building technologies, such as high-performance glazing and condenser heat recovery, to minimize energy usage.

In addition, the landscape design incorporates drainage swales along the Richter Street and Clement Avenue building frontages. The storm-water runoff from all unsecured parking areas will drain to the swales. This will allow for additional infiltration over time as the runoff flows to the outlets and provides an additional detention component to the storm system, thereby reducing the storm-water flows off-site.

Design Guidelines

CPTED

Key security and CPTED principles are accommodated in the exterior design of the Kelowna Police Services Building.

The landscape design for the Project represents a multi-faceted approach. Security is one of the principal design drivers and this has been integrated with the development of the site to meet the Project requirements. The design integrates as much green space as possible to break up the large surface parking area and shield the secure parking area from public view.

CPTED principles are used to delineate public and non-public spaces, offer natural surveillance, clearly define appropriate site uses, and support ongoing maintenance. Public and non-public spaces will be clearly delineated through the use of fencing, walkways, and planting beds. Natural surveillance of outdoor spaces will be maximized through the selection and placement of appropriate plant species, such as high canopy trees that promote visibility while providing shade. Likewise, shrub and ornamental grass plantings will frame outdoor areas without creating hidden spaces, or blocking windows and site lines.

Clear circulation routes will be emphasized through the use of paving patterns and materials and visual sight lines to building entries and exits. In addition, visual cues will guide staff and visitors to and from building entries, parking areas, bus stops, and public sidewalks. The overall landscaping is designed for simplified maintenance and to promote ongoing site security. The placement and future growth of trees and shrubs will be carefully considered such that sight lines remain clear and features such as site lighting remain unblocked and easily accessed by maintenance personnel.

Public spaces, such as the main entry plaza, benefit from elements that provide both physical and psychological security. As such, an important element of the plaza design will be to convey a sense of welcome and safety. Shaded seating, primary and secondary circulation, and refuge from the streetscape will support site-appropriate activities such as circulation, lunch-break seating, and quiet conversation areas. In this way, daytime security is provided in part by the building occupants and visitors themselves, whose presence deter anti-social behavior. The strategic placement of permanent seating, sculptural elements, and bollards will provide further physical safety for the plaza space and building entrance.

The site lighting design incorporates CPTED principles and is integrated with the security camera layout and landscape design to achieve the required site coverage. The site lighting luminaires are full cut-off type and dark-sky compliant. The careful placement of the luminaires minimizes site lighting trespass. Site lighting is controlled using a photocell and a low-voltage switching scheme that enables ambient light level conditions to control the site lighting.

Accessibility

As outlined in the City of Kelowna “Guidelines for Accessibility in Outdoor Spaces” The Kelowna Police Services Building is a barrier free environment and ensures the building and site is accessible to all, no matter their degree of disability. Some of the strategies implemented are:

- Flat Surfaces – The main entrance is at sidewalk level and the access is from the public plaza laid with smooth paving and clear circulation.
- Automatic Door Opening Systems – All major entrances have automatic door openers as well as generous door openings allowing for wheelchair access.
- Sufficient Lighting – The plaza, doorways and entrances are well lit to ensure easy visibility at night
- Visitor Parking is located in close proximity to the front entrance/ public plaza
- Parking - Handicapped parking stalls are located in close proximity to the main entrance and staff entrance with barrier free access to lobby and elevators.
- Signage – All Signage is visible, clear and simple to understand as well as properly lit at night.

CITY OF KELOWNA

APPROVED ISSUANCE OF A:

- ☐ Development Permit No.: DP15-0132
- ☐ Development Variance Permit No.: DVP15-0133

EXISTING ZONING DESIGNATION:	P1 - Major Institutional
WITHIN DEVELOPMENT PERMIT AREA:	Revitalization Development Permit Area & Comprehensive Arterial Development Permit Area

ISSUED TO: City of Kelowna

LOCATION OF SUBJECT SITE: 650 Clement Avenue

	LOT	SECTION	D.L.	TOWNSHIP	DISTRICT	PLAN
LEGAL DESCRIPTION:	A		139		ODYD	Plan EPP39101

SCOPE OF APPROVAL

- ☐ This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.
- ☐ This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.
- ☐ Applicants for Development and Development Variance Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.

1. TERMS AND CONDITIONS:

- The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
- The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
- Landscaping to be provided on the land be in general accordance with Schedule "C";
- Prior to issuance of the Building Permit, the requirements of the Development Engineering Branch must be satisfied;
- That the applicant be required to post with the City, a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper.

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with the drawings attached to the Development Variance Permit described in Schedule "A, B, C, & D":

Section 8.5 (Table 8.1) General Provisions

To vary the minimum parking stalls from 954 parking stalls required to 289 parking stalls proposed.

Section 7.6.1 (b & c) Minimum Landscape Buffers

To vary the minimum level 2 and level 3 landscape buffer width from 3.0m required to between 1.6m and 3.0m as proposed and described within schedule "D".

Section 8.3.5 Development Standards - Vehicle Parking and Loading

To vary the minimum required landscape island area from 2m² per parking stall and loading bay (totalling 1,916 m²) to 115m² total area.

2. PERFORMANCE SECURITY:

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee, or should the Permittee carry out the development Permitted by this Permit within the time set out above, the security shall be returned to the Permittee. There is filed accordingly:

- (a) Cash; OR
- (b) A Certified Cheque; OR
- (c) An Irrevocable Letter of Credit in the amount of \$212,410.00.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. DEVELOPMENT:

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development Permitted by this Permit within one year of the date of this Permit, this Permit shall lapse.

This Permit is not transferable unless specifically permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

THIS Permit IS NOT A BUILDING Permit.

5. APPLICANT'S AGREEMENT:

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit or Development Variance Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any

building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning & Real Estate Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner/Authorized Agent

Date

Print Name in Bold Letters

Telephone No.

6. APPROVALS:

ISSUED BY THE URBAN PLANNING DEPARTMENT OF THE CITY OF KELOWNA THE ____ DAY OF _____, 2015 BY THE DIVISIONAL DIRECTOR OF COMMUNITY PLANNING & REAL ESTATE.

Ryan Smith
Urban Planning Manager

SCHEDULE A 0815-0102 + 01015-0102
This forms part of development
Permit # _____

LEGAL ADDRESS:

650 CLEMENT AVENUE
 PLAN NUMBER: 88931011
 LOT NUMBER: A
 PROPERTY TYPE (ZONING): P1

CIVIC ADDRESS:

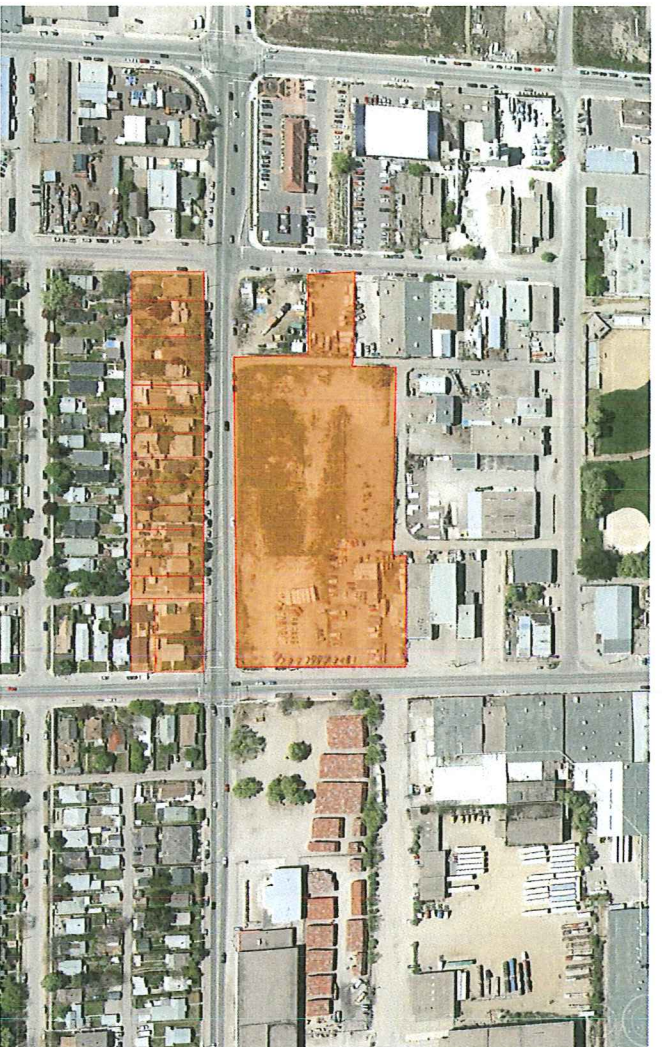
Development Application covering the following Property:
 650 CLEMENT AVENUE

* WE MUST ASK TO RELOCATE CIVIC ADDRESSES
 ON RICHTER STREET AT THE BP STAGE

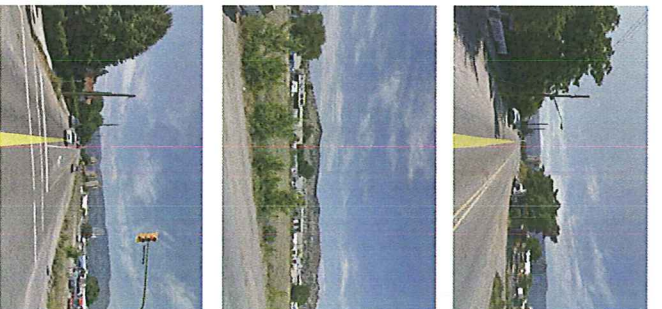


DRAWING LIST

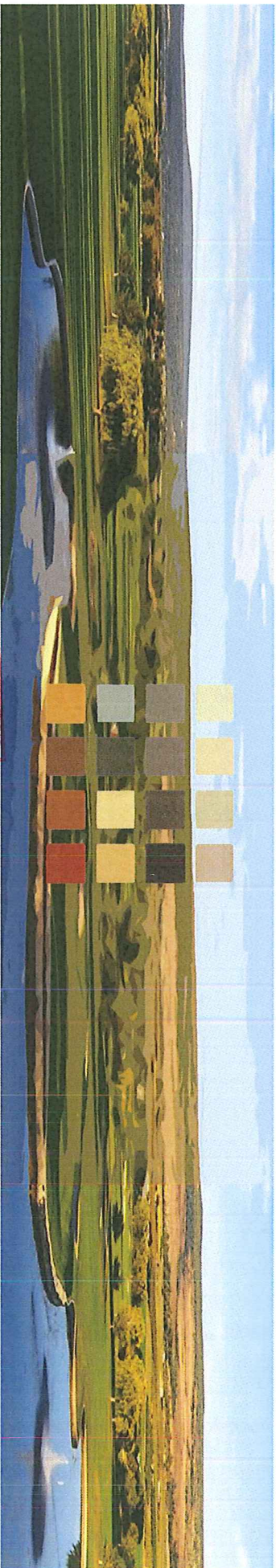
A-00	COVER PAGE
A-01	ZONING ANALYSIS TABLE
A-02	CONTEXT PHOTOS
A-03	PROPOSED VARIANCES
A-04	LEVEL 1 FLOOR PLAN
A-05	LEVEL 2 FLOOR PLAN
A-06	LEVEL 3 FLOOR PLAN
A-07	ROOF PLAN
A-08	BUILDING ELEVATIONS
A-09	MATERIAL BOARD
A-10	LOOKING NORTH WEST ALONG CLEMENT AVE.
A-11	LOOKING NORTH EAST ALONG CLEMENT AVE.
A-12	LOOKING NORTH WEST ALONG CLEMENT AVE.
A-13	SECTION THROUGH BUILDING SIDEWALK SETBACK TO A FLANKING STREET
A-14	PROPOSED VARIANCES - LANDSCAPE BUFFER LEVEL 3
A-15	PROPOSED VARIANCES - LANDSCAPE BUFFER LEVEL 2
A-16	PROPOSED VARIANCES - LANDSCAPE ISLANDS STAFF PARKING AREA
A-17	SITE PLAN
A-18	SITE PLAN
L-01	SITE PLAN
L-02	SITE PLAN



RESIDENTIAL NEIGHBORHOOD ON CLEMENT AVENUE



VIEWS FROM CLEMENT AVENUE



KELOWNA LANDSCAPE AND COLOR PALETTE

SCHEDULE

A

This forms part of development

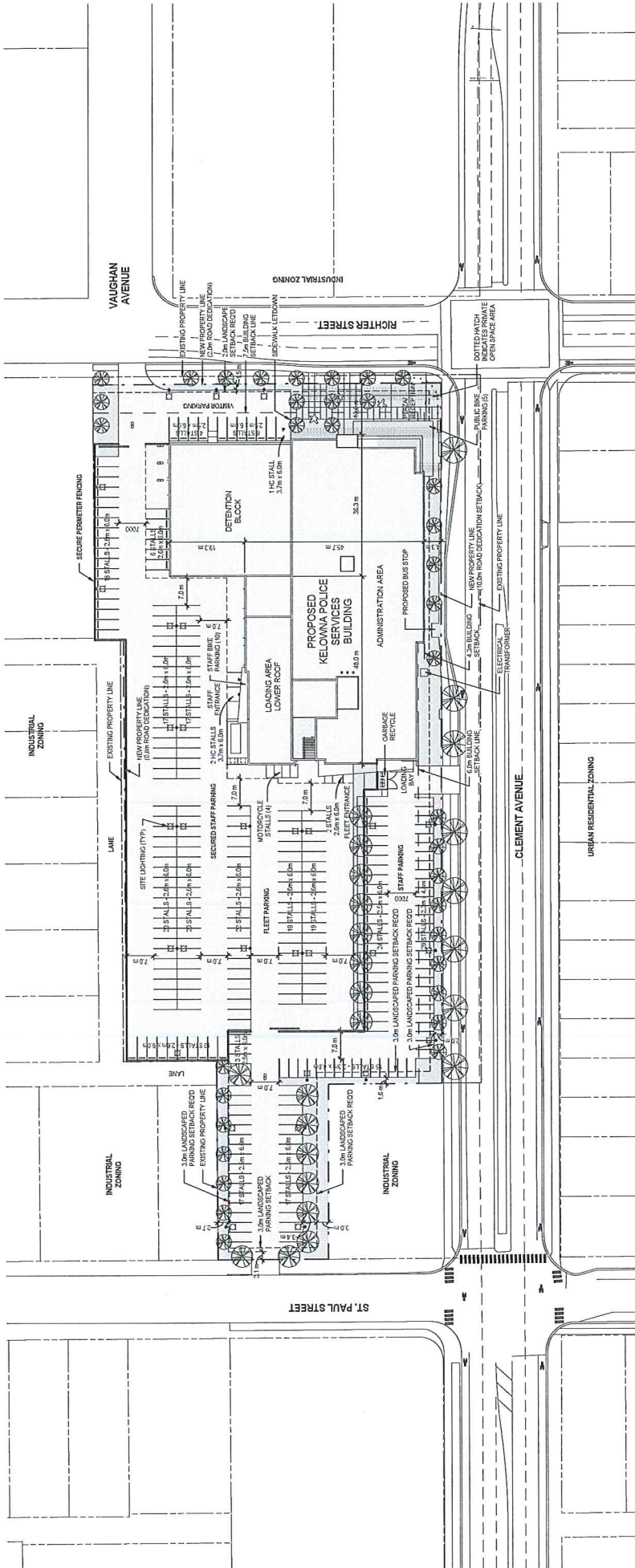
Permit # DP15-0108 / DP15-0108



CONTEXT PHOTOS
KELOWNA POLICE SERVICES BUILDING
KELOWNA, BC, CANADA

A-02
2015-05-22
PROJECT NO. 107198





1 SITE PLAN
A-03 SCALE: 1:500

P1 - Proposed Variances: Number of Trees

References and Assumptions

Assumptions:
Bylaw References:

Variances are based on required parking stalls based on RCMP operations during peak traffic times.
Consolidated Zoning Bylaw No. 8000, Parking and Loading, 8.1.2 Off-Street Vehicle Parking:
The minimum number of off-street vehicle parking spaces required for each use is specified in the Parking Schedule (Table 8.1) except where additional parking is required by the Ministry of Transportation & Highways if the site has direct access to a provincial highway. To support City of Kelowna objectives for transportation demand management, the maximum number of parking spaces for each use class is 125% of the minimum number required.

Emergency and Protective Services
10.0 parking stalls per 100 m² GFA (excluding parking garages)
954 Required Parking Stalls
The above required number of parking stalls is based on a GFA of 9537 m²
The Project provide 289 parking stalls and is based on the RCMP operations during peak traffic times.

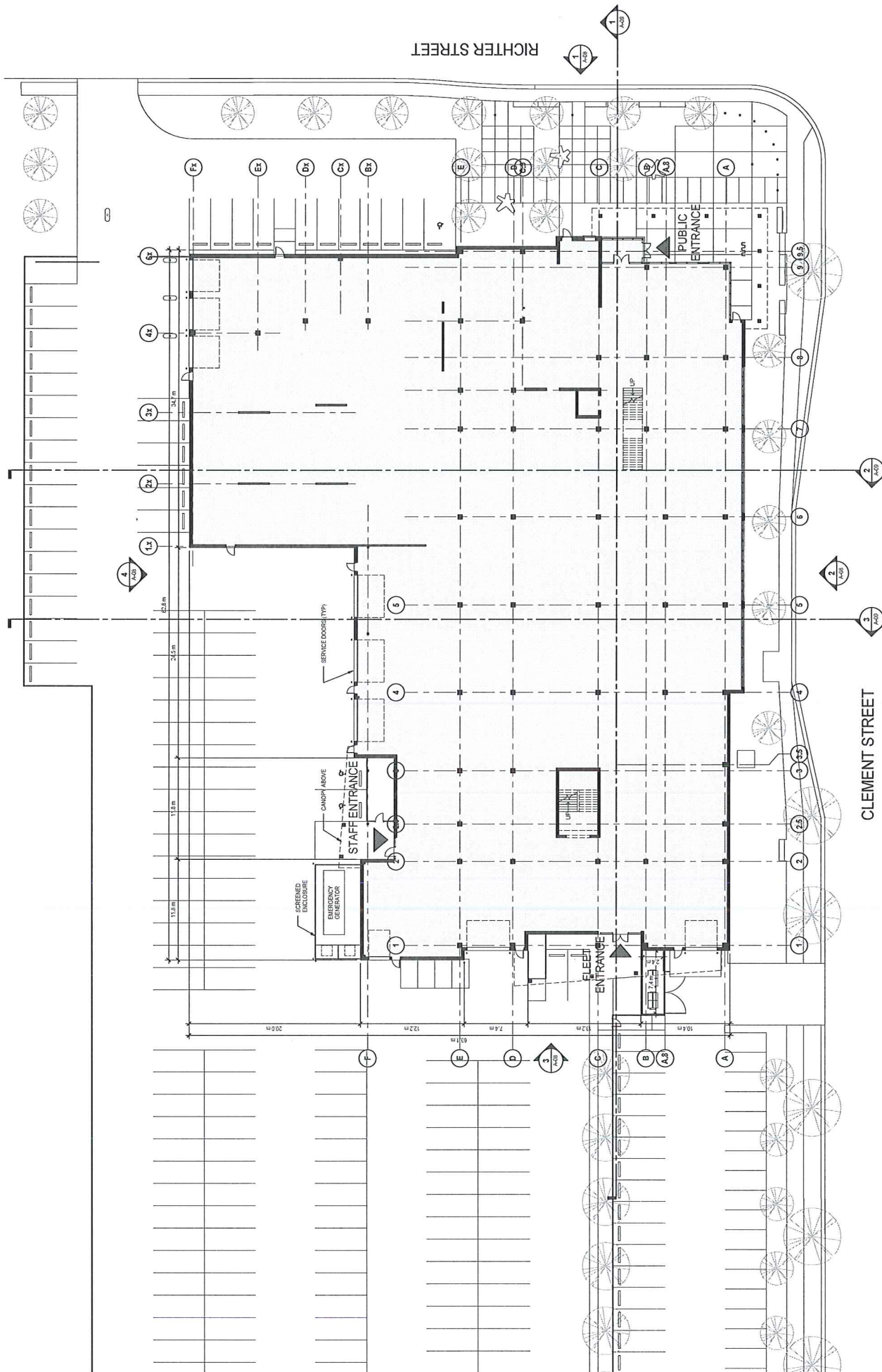


References and Assumptions

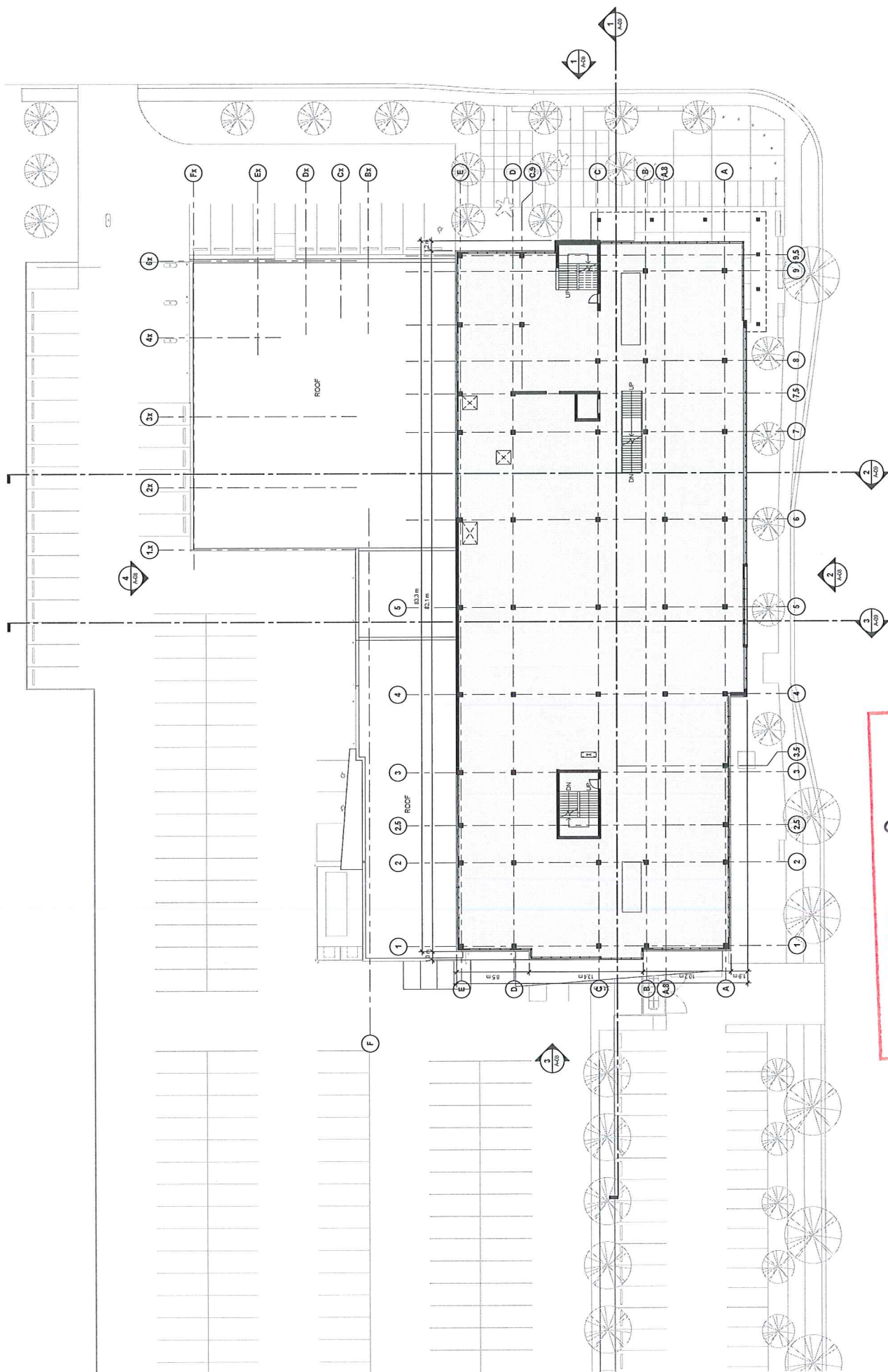
Assumptions:
Bylaw References:

Variances are based on required program area and parking stalls based on RCMP operations during peak traffic times.
2030 Official Community Plan Bylaw No. 10500, Urban Design DP Guidelines, Vehicular Access and Parking:
Parking lots should have shade trees planted at 1 tree per parking stalls
Project provide 1 tree per 4.5 Parking Stalls

SCHEDULE A
SITE PLAN AND VARIANCES
This forms part of development application
RELAYING: BC CANADA
Permit # DP15-0160 / DVPI5-0163



SCHEDULE A
 This forms part of development
 Permit # DP15-0190 / DP15-0193



1 LEVEL 2 FLOOR PLAN
A-05 SCALE 1:200

BIRD
BIRDBUILD CONSTRUCTION INC.

A-05
2015-05-22
PROJECT NO. 167198

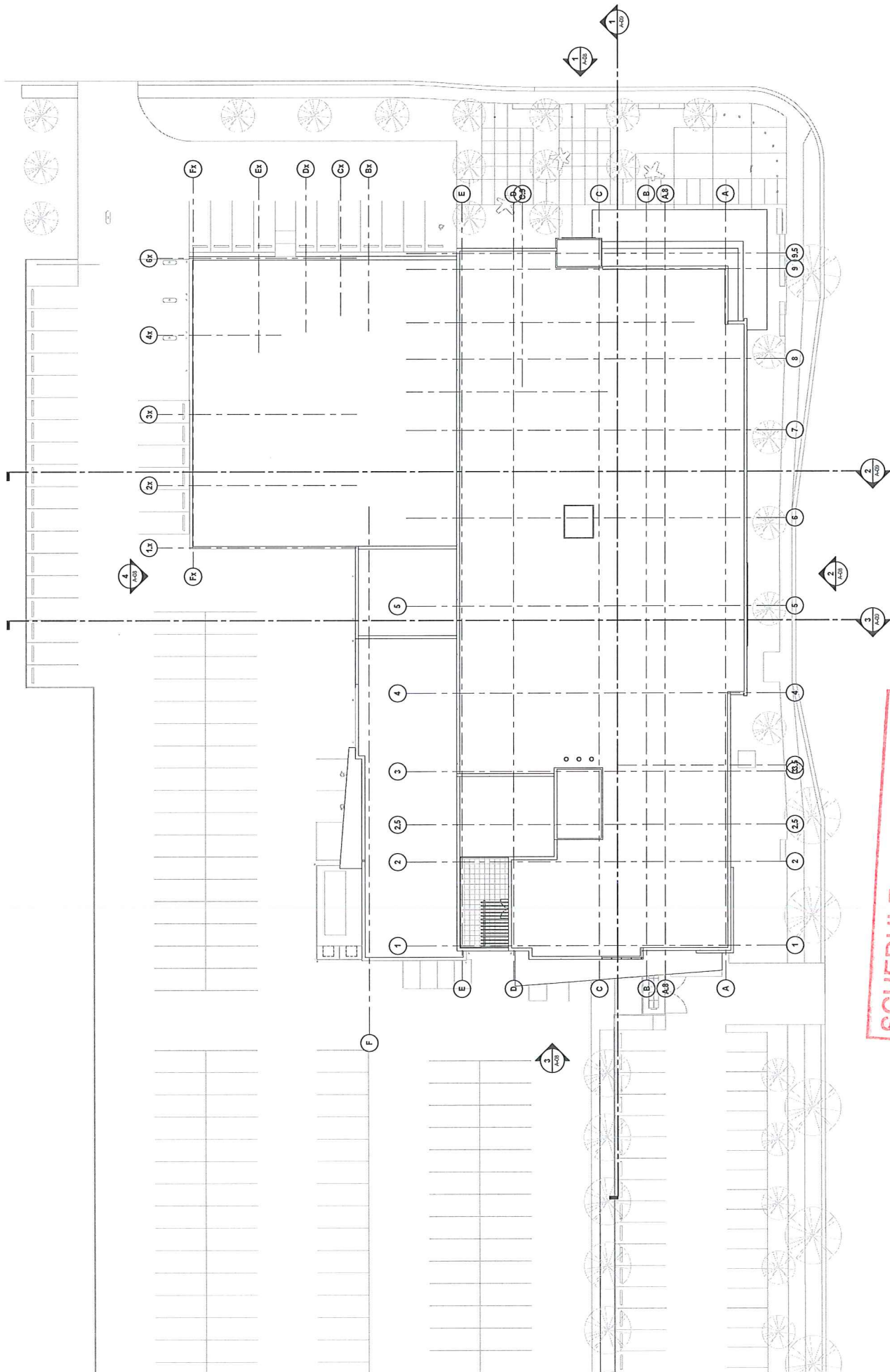
LEVEL 2 FLOOR PLAN
KELOWNA POLICE SERVICES BUILDING
KELOWNA, BC, CANADA



City of
Kelowna

SCHEDULE A
This forms part of development
Permit # DPLS-0100 / DPLS-0102

kasian



1 ROOF PLAN
SCALE: 1/320

BIRD
DESIGN-BUILD CONSTRUCTION INC.

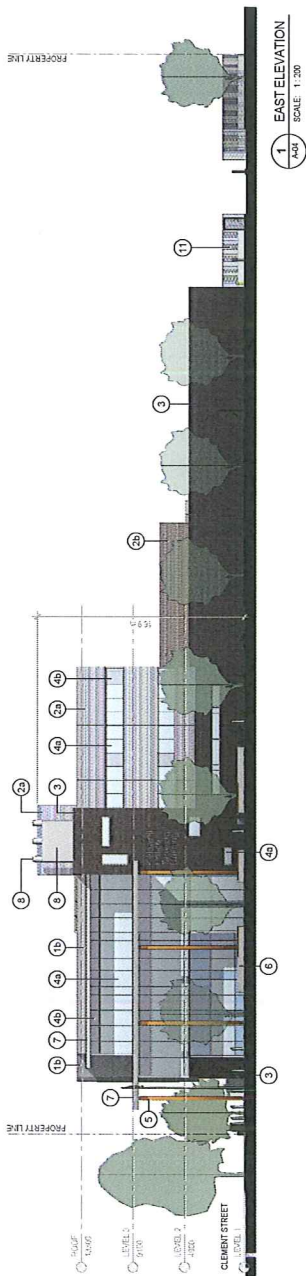
A-07
2015-05-22
PROJECT NO. 160198

ROOF PLAN
KELOWNA POLICE SERVICES BUILDING
KELOWNA, BC, CANADA

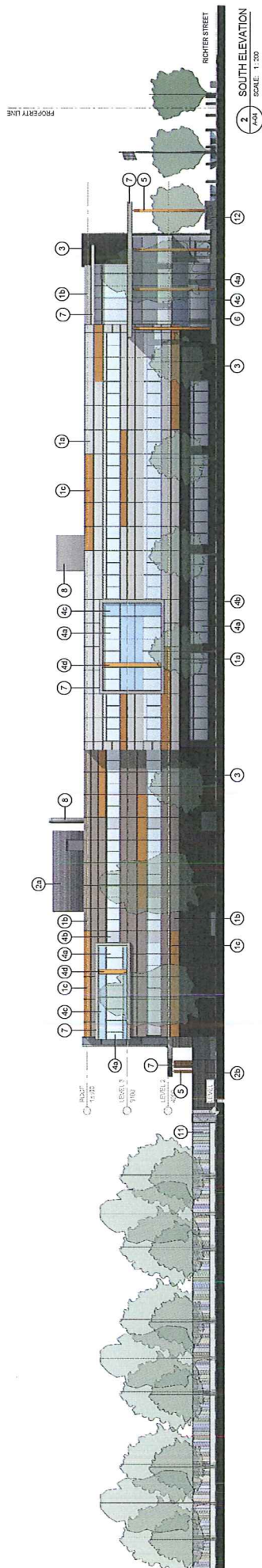


SCHEDULE A
This forms part of development
Permit # DP15-0182 / DP15-0182

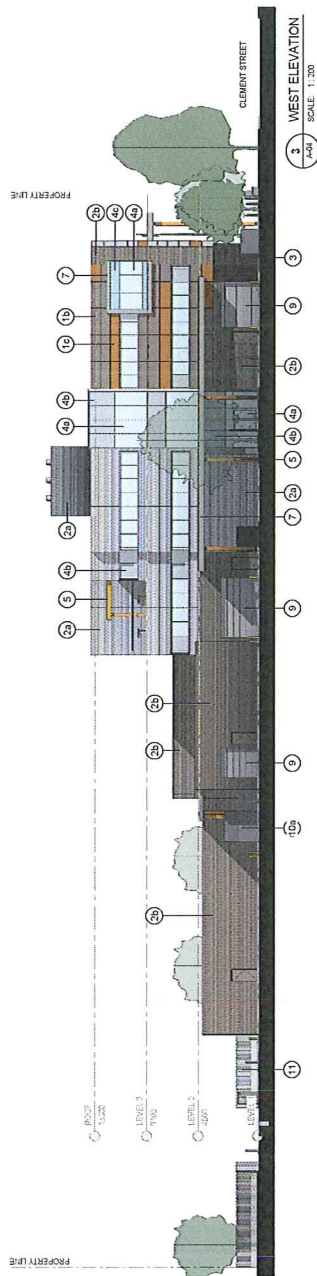
- 15 INSULATED METAL SANDWICH PANELS - REGAL GRAY
 - 16 INSULATED METAL SANDWICH PANELS - SMOKE GRAY
 - 17 INSULATED METAL SANDWICH PANELS - LANDSCAPE
 - 25 CORRUGATED METAL PANELS - GALVALUME
 - 26 TRIANGULAR PROFILE METAL PANELS - TO MATCH
 - 3 BRICK VENEER - DARK BROWN (STACK BOND)
 - 4 CLEAR GLASS
 - 46 BACKPAINTED SPANDREL GLASS - MEDIUM GREY
 - 47 BACKPAINTED SPANDREL GLASS - SKY BLUE
 - 48 BACKPAINTED SPANDREL GLASS - LANDSCAPE
 - 5 WOOD FEATURE
 - 6 CONCRETE FEATURE
 - 7 PREFINISHED METAL TRIM - CLEAR ANODIZED ALUMINUM
 - 8 HVAC EQUIPMENT - TO MATCH REGAL GRAY
 - 9 SERVICE DOOR - TO MATCH REGAL GRAY
 - 10 GENSET IN SCREEN ENCLOSURE - TO MATCH REGAL GRAY
 - 11 SECURE PERIMETER FENCING - BLACK
 - 12 BUILDING SIGNAGE
- NOTE: REFER TO MANUFACTURER "METALSPRAY" COLOUR CHART FOR PRODUCT FINISHES TO MATCH REGAL GRAY
(http://median.com/products/commercial-industrial/interior-wall-panels.html)



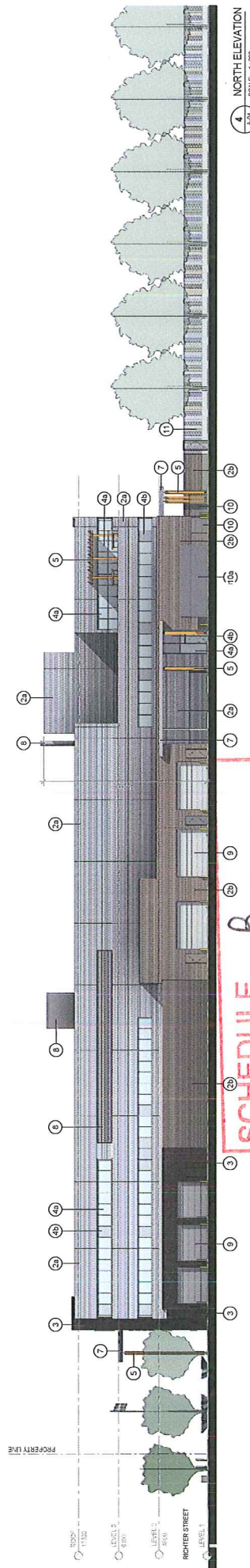
1 EAST ELEVATION
SCALE: 1:200



2 SOUTH ELEVATION
SCALE: 1:200

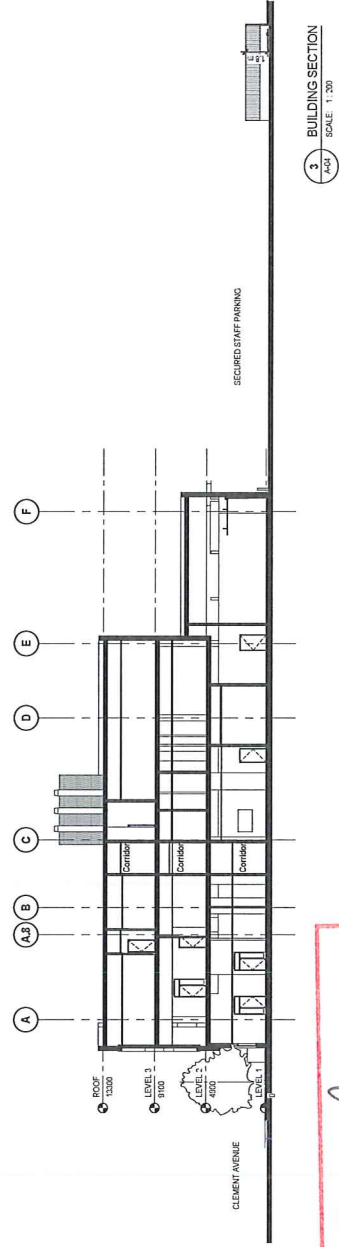
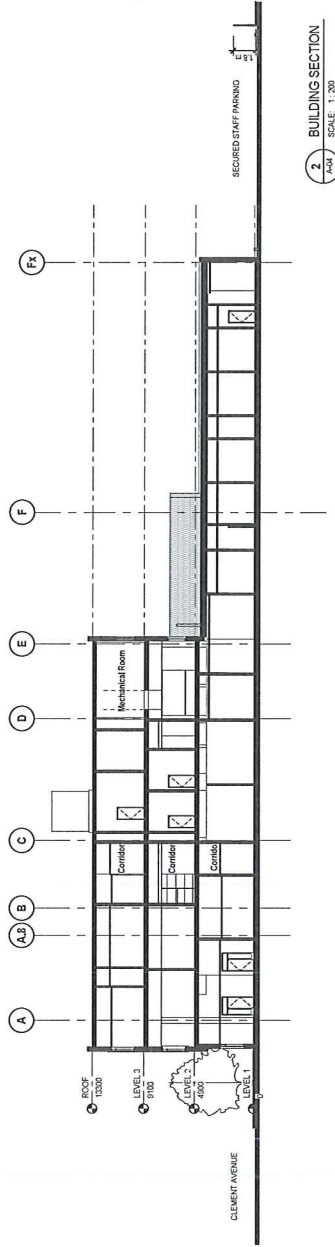
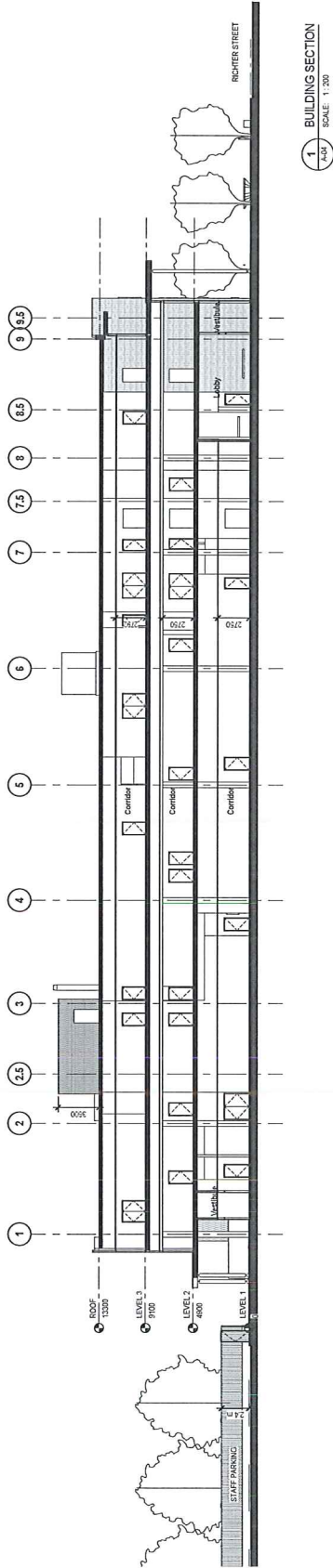


3 WEST ELEVATION
SCALE: 1:200



4 NORTH ELEVATION
SCALE: 1:200

SCHEDULE B
This forms part of development
Permit # DP15-0199 / DP15-0193



SCHEDULE B
This forms part of development
Permit # DP15-0192 / DP15-0193

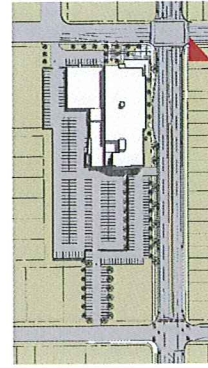
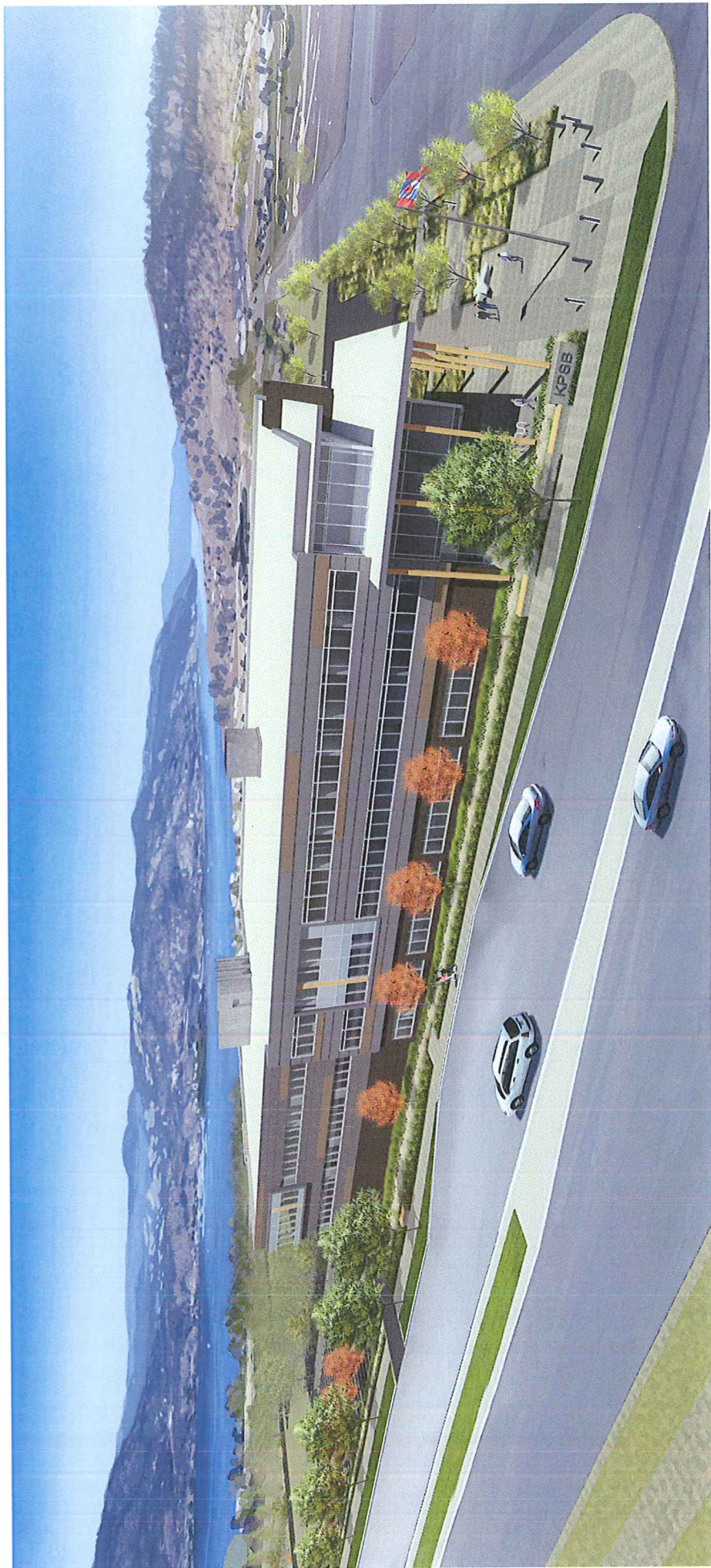
- INSULATED METAL SANDWICH PANELS - REGAL GREY
- INSULATED METAL SANDWICH PANELS - TUNDRA
- INSULATED METAL SANDWICH PANELS - SMOKE GREY
- CORRUGATED METAL PANELS - GALVALUME
- TRAPEZOIDAL PROFILE METAL PANELS
- BRICK VENEER - DARK BROWN (STACK BOND)
- CLEAR GLASS
- WOOD FEATURE



SCHEDULE B
 This forms part of development
 Permit # DPLS-0132 / DPLS-0133



SCHEDULE B
This forms part of development
Permit # DP15-01089 / DNP15-01089



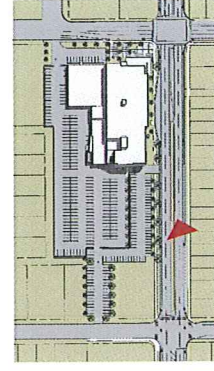
LOOKING NORTH WEST ALONG CLEMENT AVE.
 KELOWNA POLICE SERVICES BUILDING
 KELOWNA, BC, CANADA

BIRD
 DESIGN+BUILD CONSTRUCTION INC.

kasian

A-12
 2015-05-22
 PROJECT NO. 160188

SCHEDULE B
 This forms part of development
 Permit # DP15-0100 / DP15-0103



SCHEDULE B
 This forms part of development
 Permit # DP15-0102 / DP15-0103

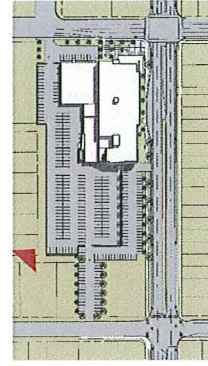
LOOKING NORTH EAST ALONG CLEMENT AVE.
 KELOWNA POLICE SERVICES BUILDING
 KELOWNA, BC, CANADA

A-13
 2015-05-22
 PROJECT NO. 100198

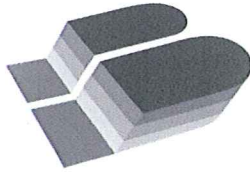
BIRD
 DESIGN-BUILD CONSTRUCTION INC.

kasian





SCHEDULE B
 This forms part of development
 Permit # DP15-0100 / DP15-0103



May 22, 2015

City of Kelowna
1435 Water Street
Kelowna, B.C.
V1J 1J4

Attention: Community Planning & Real Estate

Project: Kelowna Police Services Building

Please be advised that a landscape security bond of **\$212,410.00** will be required for the Kelowna Police Services Building project. This sum is equal to 125% of the estimated installed cost for all soft landscaping items for the project. As per City of Kelowna *Consolidated Zoning Bylaw No. 8000*, the estimate includes trees, shrubs, grasses, perennials, irrigation and bicycle racks.

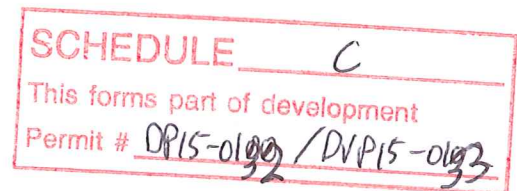
Please refer to the attached cost estimate for additional information.

Should you require any further clarification, please do not hesitate to contact me.

Sincerely,

Keith Nyhof, BCSLA, CSLA,
Registered Landscape Architect

cc
Andris Ozols, Design Manager, Bird Construction



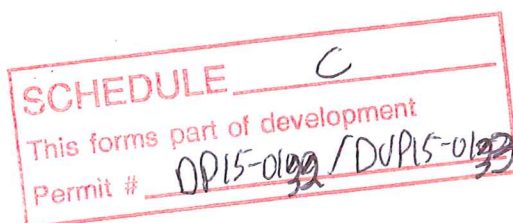


Kelowna Police Services Building

Estimate of Probable Costs

Prepared on: May 22, 2015

Items Description	Units	Qty.	Price	Item Total
1.0 Plant Material				
1.1 Trees				
1.1.1 8cm Cal.: Deciduous Tree	ea.	8	\$750.00	\$6,000.00
1.1.2 6cm Cal.: Deciduous Trees	ea.	48	\$500.00	\$24,000.00
			<i>Sub-Total</i>	<i>\$30,000.00</i>
1.2 Shrubs, Perennials, Ground Covers				
1.2.1 #2 Pot: Shrubs (1.8m O.C.)	ea.	143	\$45.00	\$6,435.00
1.2.2 #1 Pot: Perennials (0.75m Spacing)	ea.	596	\$20.00	\$11,920.00
1.2.3 #1 Pot: Grasses (0.9m Spacing)	ea.	967	\$15.00	\$14,505.00
			<i>Sub-Total</i>	<i>\$32,860.00</i>
1.3 Sod				
2.3.1 Turf Boulevard	m ²	256	\$8.00	\$2,048.00
			<i>Sub-Total</i>	<i>\$2,048.00</i>
			1.0 Total	\$64,908.00
2.0 Topsoil & Mulch				
2.1 Topsoil				
2.1.1 Shrub Bed Topsoil (450mm Depth)	m ³	450	\$50.00	\$22,500.00
2.1.2 Turf Topsoil (150mm Depth)	m ³	39	\$45.00	\$1,755.00
2.1.3 Tree Pit Topsoil: Urban Bosque (1m Depth)	m ³	160	\$55.00	\$8,800.00
2.1.4 Tree Pit Topsoil: Site Trees (1m3/Tree)	m ³	47	\$55.00	\$2,585.00
2.1.5 Swale Topsoil (100mm Depth)	m ³	74	\$55.00	\$4,070.00
			<i>Sub-Total</i>	<i>\$39,710.00</i>
2.2 Mulch				
2.2.1 Glengrow Mulch (75mm Depth)	m ³	142	\$55.00	\$7,810.00
			<i>Sub-Total</i>	<i>\$7,810.00</i>
			2.0 Total	\$47,520.00
3.0 Servicing				
3.1 Irrigation				
3.1.1 Sleeving	l.s.	1	\$3,500.00	\$3,500.00
3.1.2 Point of Connection	l.s.	1	\$5,000.00	\$5,000.00
3.1.3 Control System	l.s.	1	\$8,462.50	\$8,462.50
3.1.4 Irrigation system (heads, pipes, valves)	m ²	2145	\$17.50	\$37,537.50
			<i>Sub-Total</i>	<i>\$54,500.00</i>
			3.0 Total	\$54,500.00
4.0 Site Construction				
4.1 Site Furnishings				
4.1.1 Bike Racks	ea.	3	\$1,000.00	\$3,000.00
			<i>Sub-Total</i>	<i>\$3,000.00</i>
			4.0 Total	\$3,000.00
			Subtotal	\$169,928.00
			Security Total (125%)	\$212,410.00



P1 - Proposed Variances: Landscape Island Staff Parking Area

References and Assumptions

 Areas representing 172 staff parking stalls (See bylaw reference below)

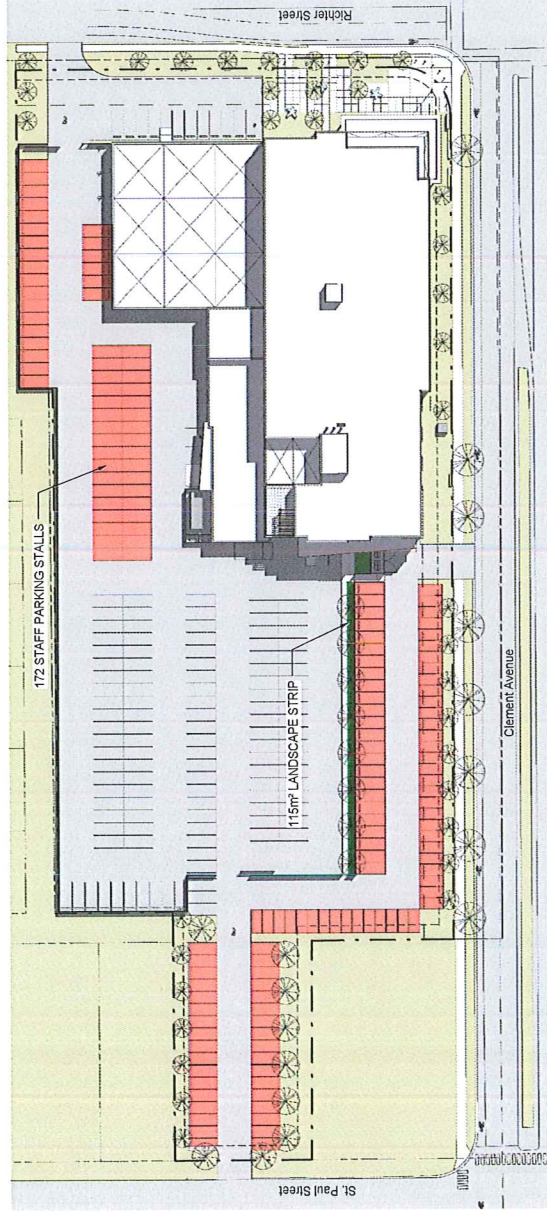
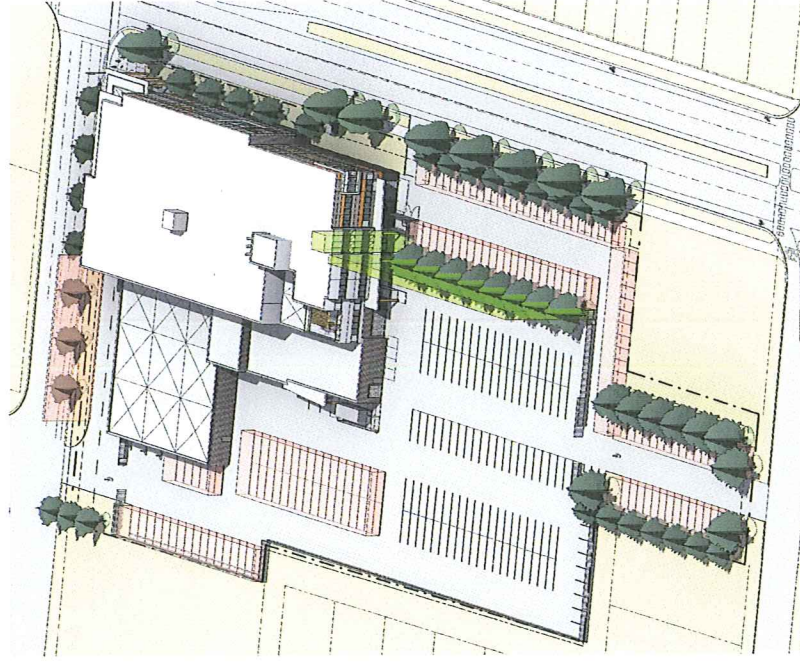
Assumptions: Variances are based on required staff parking for building operation.

Bylaw References:

Consolidated Zoning Bylaw No. 8000, Parking and Loading, 8.3.5 Development Standards:

Every off-street parking or loading area required by this Bylaw to accommodate 50 or more vehicles at-grade shall incorporate landscaped open space within the parking area calculated on the basis of 2.0m² of landscaped island area per required parking and loading space. This shall be landscaped in accordance with Section 7.

The above required area of landscaped island is based on 172 staff parking stalls



SITE PLAN

SCHEDULE A-B
This forms part of development
Permit # DP15-0162 / DP15-0163



P1 - PROPOSED VARIANCES - LANDSCAPE ISLANDS STAFF PARKING AREA
KELOWNA POLICE SERVICES BUILDING
KELOWNA, BC, CANADA

A-18
2015-06-24
PROJECT NO. 160719



P1 - Proposed Variances: Side Yard Setback to a Flanking Street

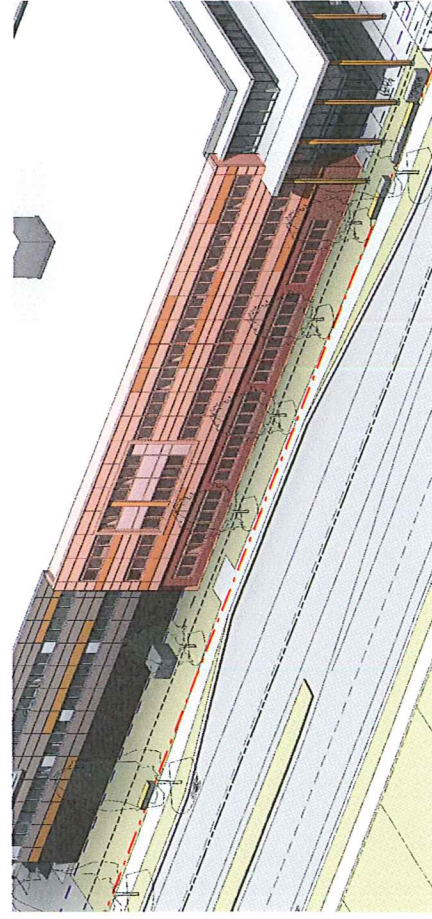
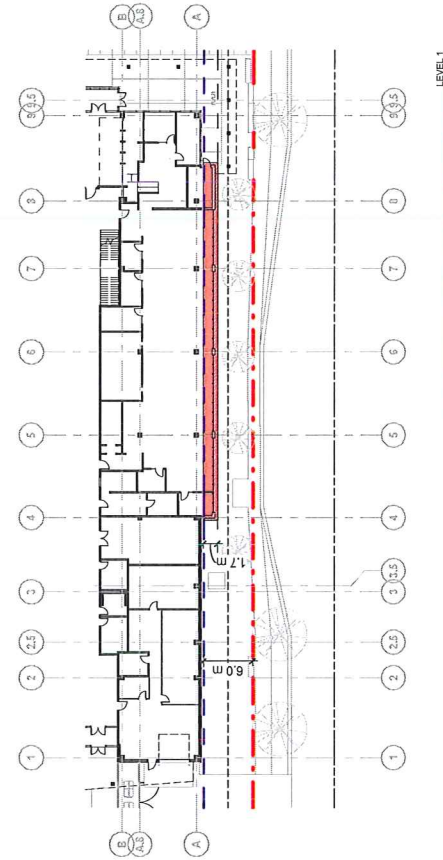
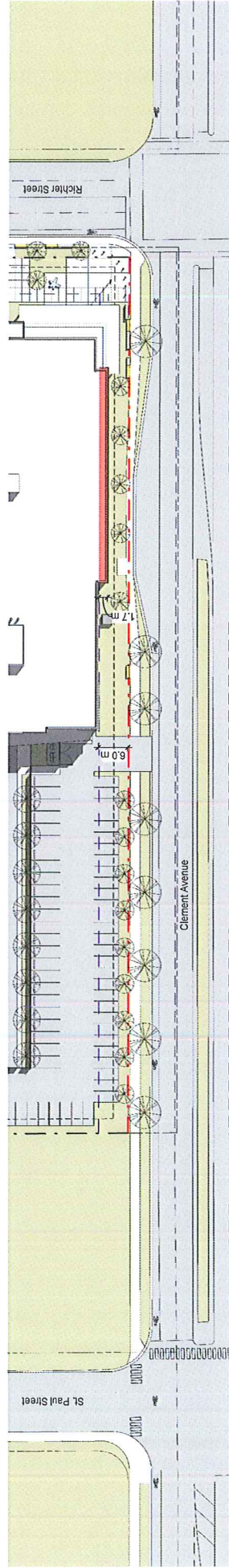
References and Assumptions

 Areas representing encroachment into 6.0m setback (See bylaw reference below)

Assumptions: Variances are based on proposed property lines as illustrated.

Bylaw References: **Consolidated Zoning Bylaw No. 8000, P1 - Major Institutional, 16.1.5 Development Regulation, Section (e):**
The minimum side yard is 4.5m, except it is 6.0m to a flanking street.

The above setback will be measured from the nearest exterior building face.



SCHEDULE A+B
This forms part of development
Permit # DP15-0189 / DP15-0273



P1 - PROPOSED VARIANCES - SIDE YARD SETBACK TO A FLANKING STREET
KELOWNA POLICE SERVICES BUILDING
KELOWNA, BC, CANADA

BIRD
DESIGN/ARCHITECTURE INC.
A-15
2015-05-22
PROJECT NO. 160189



P1 - Proposed Variances: Landscape Buffer Level 3

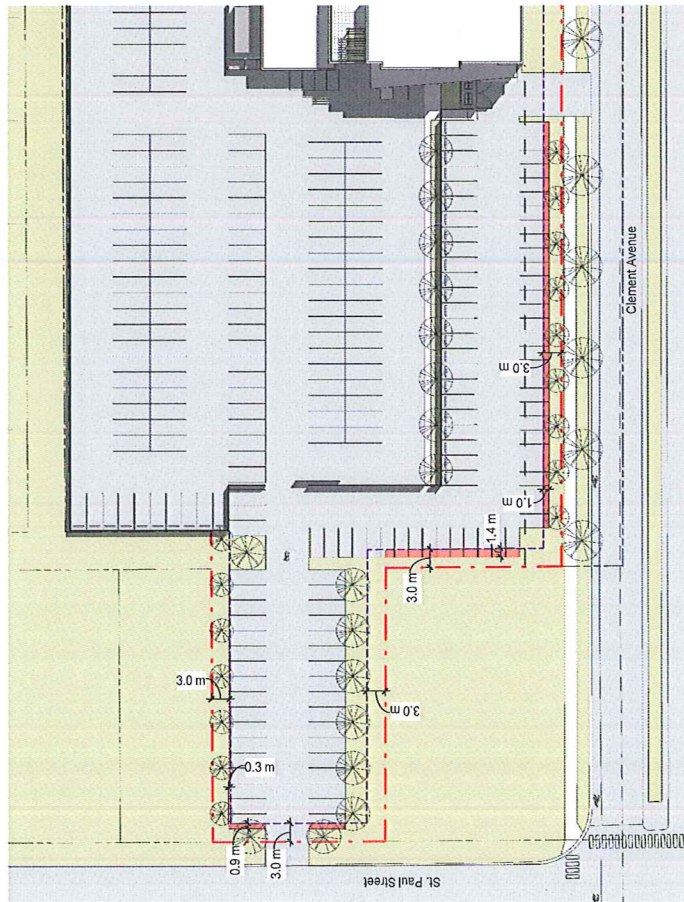
References and Assumptions

 Areas representing encroachment into 3.0m setback (See bylaw reference below)

Assumptions: Variances are based on proposed property lines as illustrated.

Bylaw References: **Consolidated Zoning Bylaw No. 8000, Landscape and Screening, 7.6.1 Minimum Landscape Buffers, Section (c):**
Level 3: a minimum 3.0m landscape buffer is required to separate uses from adjacent properties and will consist of a vegetative buffer or a continuous barrier on rear and side yard.

The above setback will be measured from the proposed property line as illustrated



SITE PLAN

SCHEDULE D
This forms part of development
Permit # DP15-0109 / DP15-0193



P1-PROPOSED VARIANCES - LANDSCAPE BUFFER LEVEL 3
KELOWNA POLICE SERVICES BUILDING
KELOWNA, BC, CANADA



A-16
2015-05-22
PROJECT NO. 107198



P1 - Proposed Variances: Landscape Buffer Level 2

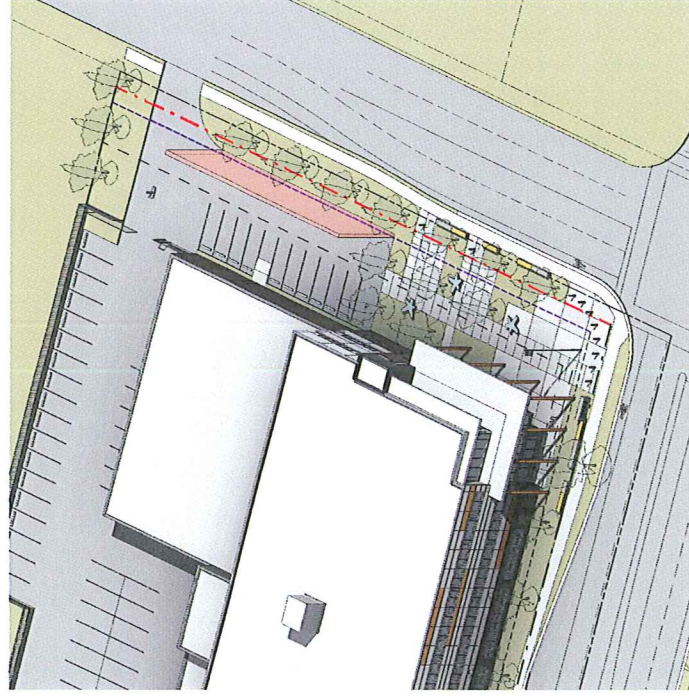
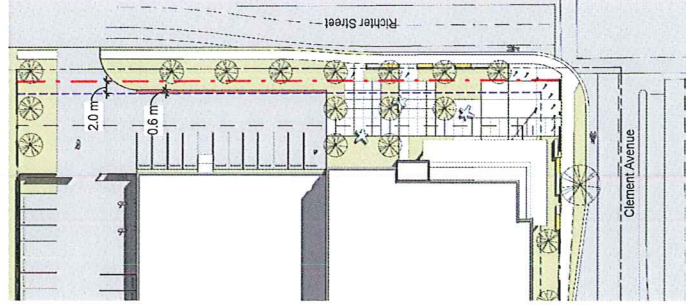
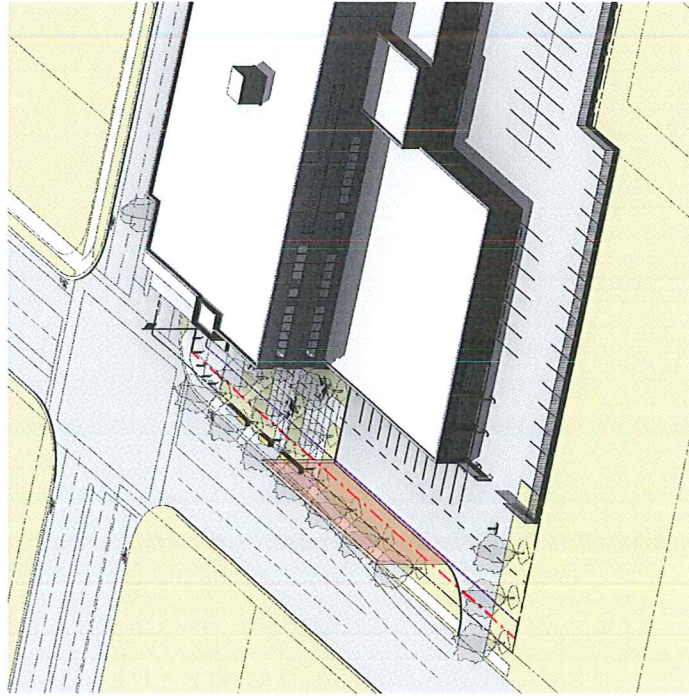
References and Assumptions

 Areas representing encroachment into 2.0m setback (See bylaw reference below)

Assumptions: Variances are based on proposed property lines as illustrated.

Bylaw References: Consolidated Zoning Bylaw No. 8000, Landscape and Screening, 7.6.1 Minimum Landscape Buffers, Section (b): Level 2: a minimum 2.0m landscape buffer is required to separate uses from adjacent properties and will consist of a low-lying vegetative buffer where no trees or continuous opaque barrier is required on the front

The above setback will be measured from the proposed property line as illustrated



SCHEDULE D
This forms part of development
Permit # DP15-01002 / DP15-01003

REPORT TO COUNCIL



Date: July 28, 2015
RIM No. 0940-00
To: City Manager
From: Community Planning, Community Planning & Real Estate (LG)
Application: DP15-0086 / DVP15-0087 **Owner:** Kinnikinnik Developments Inc.
Address: 3470 Shayler Road **Applicant:** Grant Gaucher (G Group)
Subject: Development Permit and Development Variances Permit Applications
Existing OCP Designation: MXT - Mixed Use Tourism
Existing Zone: CD18 - McKinley Beach Comprehensive Resort Development

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP15-0086 for the property legally known as Lot 7, Section 29, Township 23, ODYD, Plan EPP8753 located at 3470 Shayler Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. Prior to issuance of the Building Permit, the requirements of the Development Engineering Branch must be satisfied;
5. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP15-0087 for the property legally known as Lot 7, Section 29, Township 23, ODYD, Plan EPP8753 located at 3470 Shayler Road, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Table 8.1 - Parking Schedule (Commercial Use Parking Rates)

To vary the minimum required parking stalls from 52 requires to 45 proposed.

AND THAT the applicant be required to complete the above-noted conditions of Council's approval of the Development Permit Application in order for the permit to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Permit and Development Variance Permit for a mixed-use building at McKinley Beach.

3.0 Community Planning

Community Planning Staff supports the first major development at McKinley Beach. This project will provide the future residents of the neighbourhood, as well as visitors, with a range of commercial services. The CD18 zone was envisioned as a multi-faceted destination community with a variety of accommodations and commercial uses planned around a lifestyle village. This application represents the first step in moving forward with the commercial components of this zone.

The proposal does require one variance to parking. In the Zoning Bylaw, the total required parking stalls for the list of proposed uses is 52 stalls, and the applicant is proposing 45 stalls. Staff supports this seven-stall variance because the developer anticipates that a large majority of the users will be local residents. The master plan for McKinley Beach shows an extensive pedestrian plan throughout the site which will be implemented phase by phase as development occurs.

4.0 Proposal

4.1 Background

McKinley Beach has a long history of a variety of development applications. The proponents first applied to amend the Official Community Plan in 2003 to have this parcel declared an Area Structure Plan (ASP) area. Since then, there have been multiple development applications including the ASP application, rezonings, text amendments, environmental development permits, development permit withdrawals, and a non-farm use permit. The development has also had two name changes, having been previously named Vintage Landing and Kinnikinnik.

In 2014, the CD zone underwent a major text amendment. Changes include renaming the zone to its current name, significantly reducing (and refining) the number of permitted uses, introducing limitations of development use areas, and limiting uses within certain areas of the plan.

In March, 2015 Staff received an environmental development permit application for the storm water detention pond on site, this current development permit for the form and character of the first commercial building, as well as a Subdivision application. Staff have issued a Preliminary Lot Review letter and the applicant is currently working through the list of conditions.

4.2 Project Description

The proposed development is a mixed use building that will provide commercial services to residents and visitors at McKinley Beach. The development is located at the bottom of the hillside development, adjacent to the lake shore.

The applicant is proposing a mix of private and public uses. Private uses (for residents) include a gym and juice bar, owner's lounge, change rooms, washrooms, and marina office. Public uses

include a beach club restaurant, coffee shop, convenience store, washrooms, equipment storage, roof top terrace, and parkade. Staff housing will also be provided on site. One 2-bedroom residential unit is included with this current development permit application.

The proposed architecture is modern in character and the buildings are designed to be integrated into the slope. Exterior materials include composite metal panel, cementitious cladding, and metal wire mesh all finished in earth-tone colours. Steel columns will complement the modern design.

4.3 Site Context

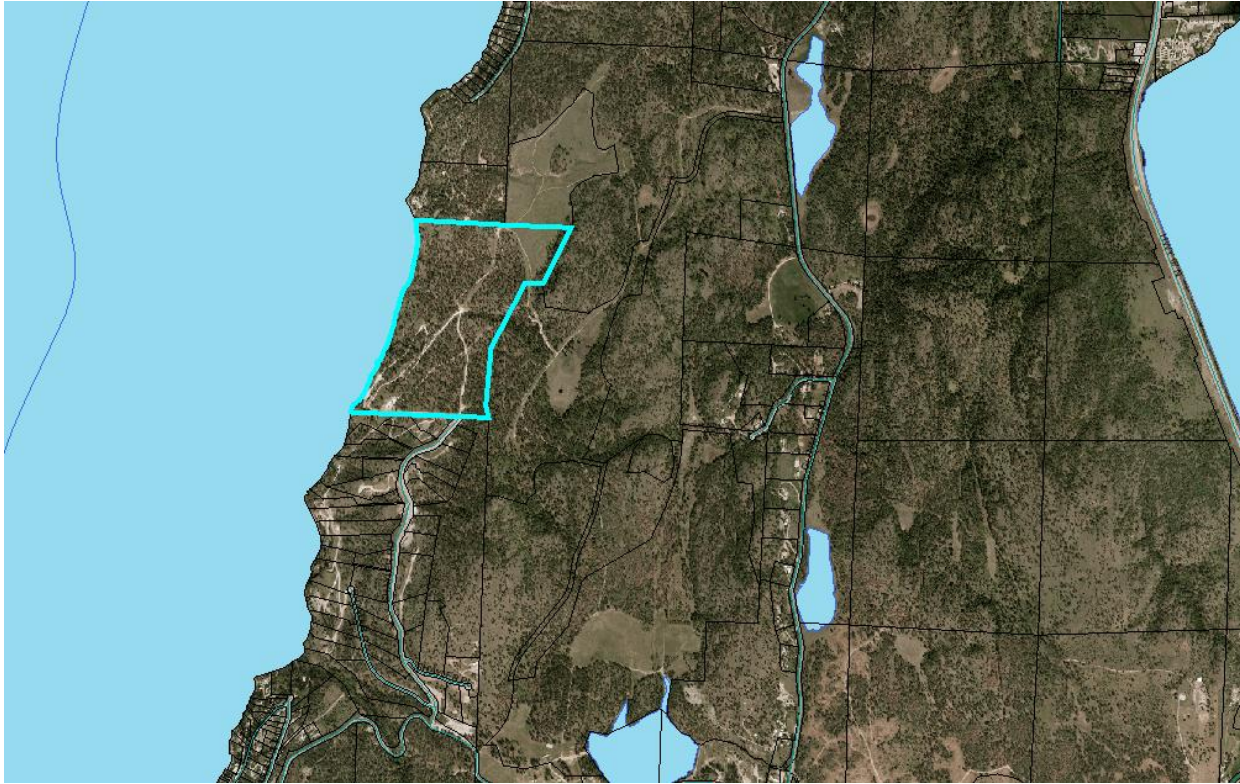
McKinley Beach is a hillside development located in the northwest corner of the city, north of the McKinley Landing neighbourhood, and adjacent to the lakeshore. The subject site is currently accessed from the south on Shayler Road. The site falls within the McKinley Sector and is within the Comprehensive Development Permit Area.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	A1 - Agriculture 1	REP - Resource Protection Area
East	A1 - Agriculture 1 CD18 - Vintage Landing Comprehensive Resort Development	REP - Resource Protection Area
South	RR1 - Rural Residential 1 RR3 - Rural Residential 3 P3 - Parks and Open Space	REP - Resource Protection Area PARK - Major Park and Open Space
West	W1 - Recreational Water Use W2 - Intensive Water Use	Okanagan Lake

With regard to Council Policy #367 (Public Notification), the applicant sent out a notice bulletin with project details, and presented at the June meeting of the residents' association.

Subject Property Map: 3470 Shayler Road



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	CD18 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Max. Density	271,500.00m ²	1313.90m ²
Max. Overall Residential Units	1300	1
Max. Overall Office Area	5000m ²	97.55m ²
Max. Office Area / Building	2000m ²	97.55m ²
Max. Individual Office Area	500m ²	97.55m ²
Max. Individual Retail Area	400m ²	120.31m ²
Max. Building Height	6.5 storeys / 29.5m	6 storeys / 21.13m (at highest point)
Min. Beyond 15m Riparian Setback	1.50m	12.04m - 21.13m
Min. Front Setback (west)	0m	0m
Min. Rear Setback (east)	0m	0m
Min. Side Setbacks (north & south)	0m	0m
Other Regulations		
Min. Parking Requirements	52 stalls	45 stalls●
Min. Bicycle Parking - Class 1	2 stalls	>2 (storage in parkade)
Min. Bicycle Parking - Class 2	4 stalls	4 stalls
Min. Loading Spaces	1 space	1 space
● Indicates a requested variance for parking.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Complete Suburbs.¹ Support a mix of uses within Kelowna's suburbs (see Map 5.1 - Urban Core Area), in accordance with "Smart Growth" principles to ensure complete communities. Uses that should be present in all areas of the City (consistent with Map 4.1 - Future Land Use Map), at appropriate locations, include: commercial, institutional, and all types of residential uses (including affordable and special needs housing) at densities appropriate to their context. Building heights in excess of four storeys will not be supported within the suburban areas, unless provided for by zoning existing prior to adoption of OCP Bylaw 10500.

Waterfront Commercial.² Waterfront commercial and multiple unit housing must facilitate and enhance public enjoyment of or access to the lakefront.

6.0 Technical Comments

6.1 Building & Permitting Department

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s)
- 2) Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- 3) Fire Department access, turn a rounds / hammer heads and private hydrant locations are to be verified with Kelowna Fire Department.
- 4) A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - a. This property is outside the Fire Department 10 minute response time. The Spatial requirements are to be addressed in the code analysis which may affect the form and character.
 - b. The roof(s) appear to project over property lines. Grading appears to slope towards the buildings from adjacent properties.
 - c. Additional doors and/or corridors may be required to meet minimum exiting requirements. This may include moving of the internal rated exit stairwells to meet minimum distances and addition of rated corridors.
 - d. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - e. Access to the roof is required per NFPA and guard rails may be required and should be reflected in the plans if required.
- 5) A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. A minimum Geodetic Elevation of 343.66 meters is required for all habitable spaces including the parking garage(s).

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.26.3 (Development Process Chapter).

Minimum building elevations are required to be established prior to the release of the Development Permit

6.2 Development Engineering Department

See attached memorandum dated April 30, 2015.

6.3 RCMP

No comments.

7.0 Application Chronology

Date of Application Received: March 6, 2015

Report prepared by:

Lindsey Ganczar
Planning Supervisor

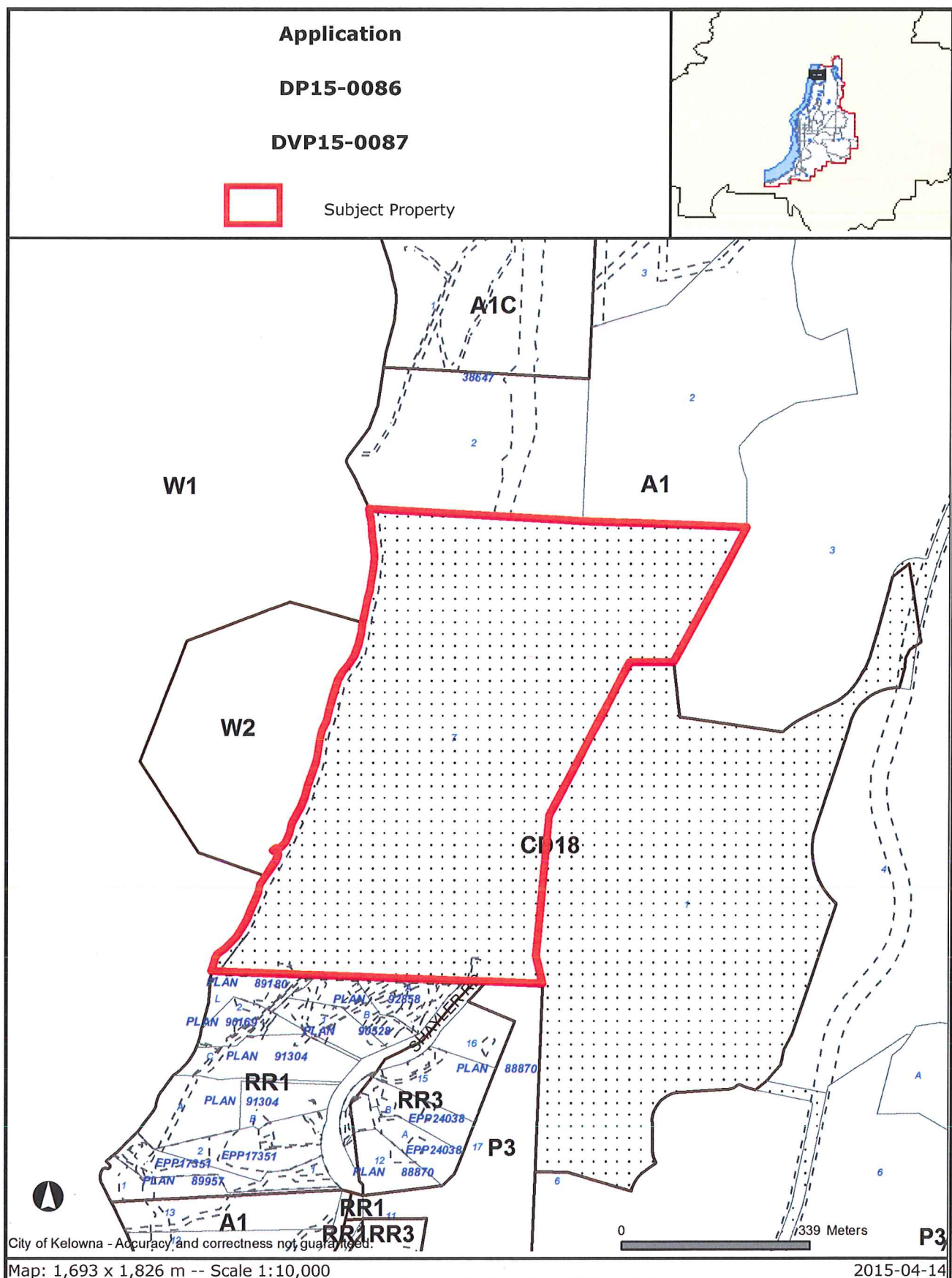
Reviewed by:



Ryan Smith, Community Planning Department Manager

Attachments:

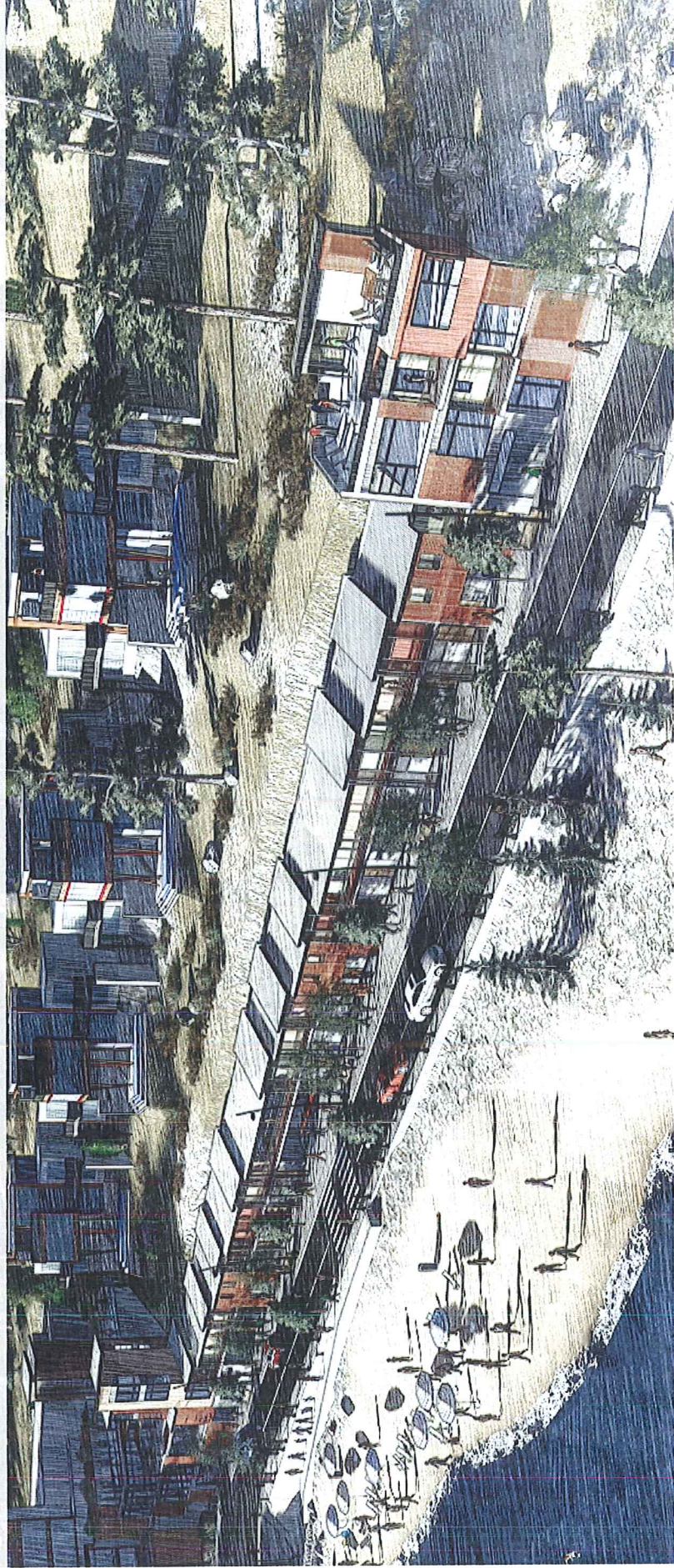
Subject Property Map
Development Permit plan package
 Site Plan
 Floor plans
 Conceptual Elevations
 Landscape Plan
Engineering Memorandum



*Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.*

MCKINLEY BEACH RESORT

LEGAL DESCRIPTION: LOT 7, SECTION 29, TWP. 23



LEGAL DESCRIPTION: LOT 7, SECTION 29, TWP. 23

A2.1	-PROJECT ZONING & GENERAL SITE LOCATION
A1.0	-OVERALL SITE PLAN
A1.1	-SITE PLAN 1:200 SCALE
A2.0.1	-COMMERCIAL PRIMARY LEVEL 1 - PARKADE, COFFEE SHOP
A2.0.2	-COMMERCIAL PRIMARY LEVEL 1 - RETAIL, WASHROOMS, BOAT HOIST
A2.0.3	-COMMERCIAL ANCILLARY LEVEL 1 - STORAGE
A2.1.1	-COMMERCIAL PRIMARY LEVEL 2 - GYM, OFFICE & BOAT STORAGE
A2.1.2	-COMMERCIAL ANCILLARY LEVEL 2 - BOAT HOIST & STORAGE
A2.1.3	-COMMERCIAL ANCILLARY LEVEL 2 - BOAT STORAGE
A2.2	-COMMERCIAL PRIMARY LEVEL 3 - RESTAURANT
A2.3	-COMMERCIAL PRIMARY LEVEL 4 - RZOF TERRACE
A2.4	-COMMERCIAL PRIMARY LEVEL 5 - MECHANICAL
A2.5	-COMMERCIAL PRIMARY LEVEL 6 - LOADING
A2.6	-COMMERCIAL PRIMARY EAST & WEST ELEVATION
A2.7	-COMMERCIAL PRIMARY NORTH & SOUTH ELEVATION
A2.8	-COMMERCIAL ANCILLARY (KAYAK STORAGE) ELEVATIONS
A2.9	-TOWNHOME PLANS & ELEVATIONS
A3.0	-SITE SECTIONS

PROPERTY CHWC ADDRESS	Not Currently Available
PROPERTY LEGAL DESCRIPTION	SECTION 8, T1P 66, SUBDIVISION 04 LOT 7
CURRENT ZONING	SECTION 23 AND 27, TOWNSHIP 23 COYO PLAN 07P253
PERMITTED AND USES - AREA V	CD-18 Comprehensive Development Zone Area V
Waterfront Resort Accommodations	ACADEMIC BEACH WATERFRONT RESORT ACCOMMODATION
Food Primary	
Food Secondary	
Food and Beverage	
Food Storage	
Private Club	
Convenience	
Private Open Space	
ACTUAL LOT SIZE	1,444.26 sq m
Lot 6	144.63 sq m
	1,578.3 sq ft

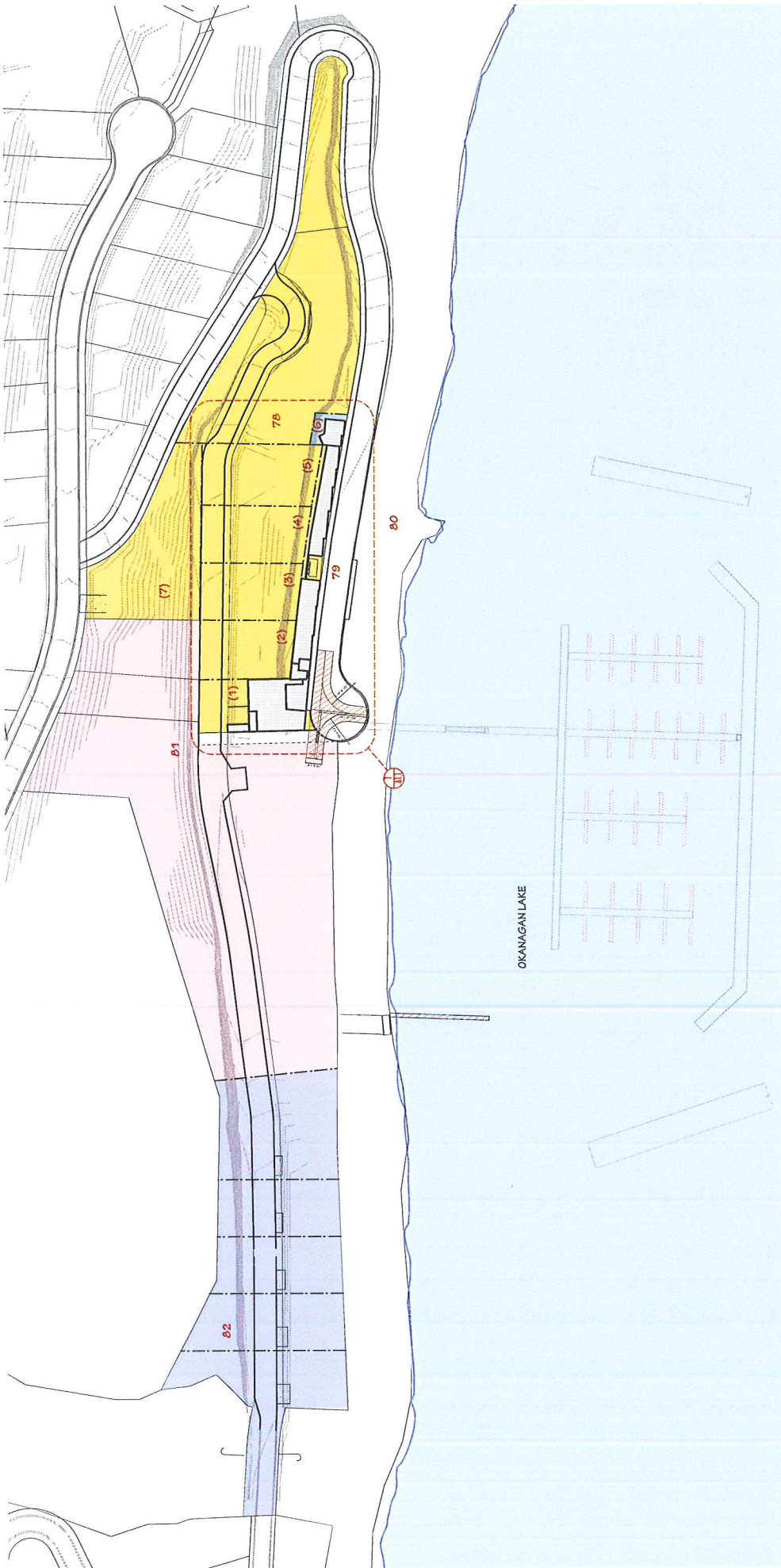
Category	Aluminum magnitude of individual Tenancy in Area IV	Actual Ten Areas
400.00 sq m	4,305.0 sf	
120.31 sq m	1,295.0 sf	
196.48 sq m	2,115.0 sf	
97.55 sq m	1,050.0 sf	
185.06 sq m	1,992.0 sf	

BUILDING USE	sq. m	NET AREAS	at least parking (sq. ft.)	Notes
COFFEE SHOP	72.29	576	14 (1 per 4 sq. ft. of coffee shop)	
RETAIL	48.2	379	12 (2 per 100 sq. ft.)	
CLUB	107.35	127	10 (1 per 10 sq. ft.)	
OFFICE	97.35	100	23.5 (one 1500 sq. ft. office)	
RESTAURANT	187.22	216.3	86 (1 per 4 sq. ft. of restaurant)	
PARKING SPACES REQUIRED:				52

COPIES/SHOP	0.07	0.07	
REMAINANT	31.7	0.38	
COMMERCIAL BKE PARKING:			
OFFICE	97.5	0.1	
RETAIL	48.2	0.1	0.28
RESTAURANT	18.3	0.18	0.18
TRUCK STOP	1.4	1.1	1.1
WALK STORAGE	206.0	1.25	3.47
			CLASS1
TOTAL	1.52	2	CLASS2 = 4

An aerial photograph showing a wetland area with various water bodies and land features. Two labels are present: 'N. O. BARNETT' and 'CLEMENSE RD. N.', both oriented vertically. The terrain is a mix of dark, irregular shapes representing water and lighter, more uniform areas representing land or vegetation. The labels are placed near specific features, likely for identification purposes in a scientific or planning context.

2 SITE LOCATION
NOT TO SCALE

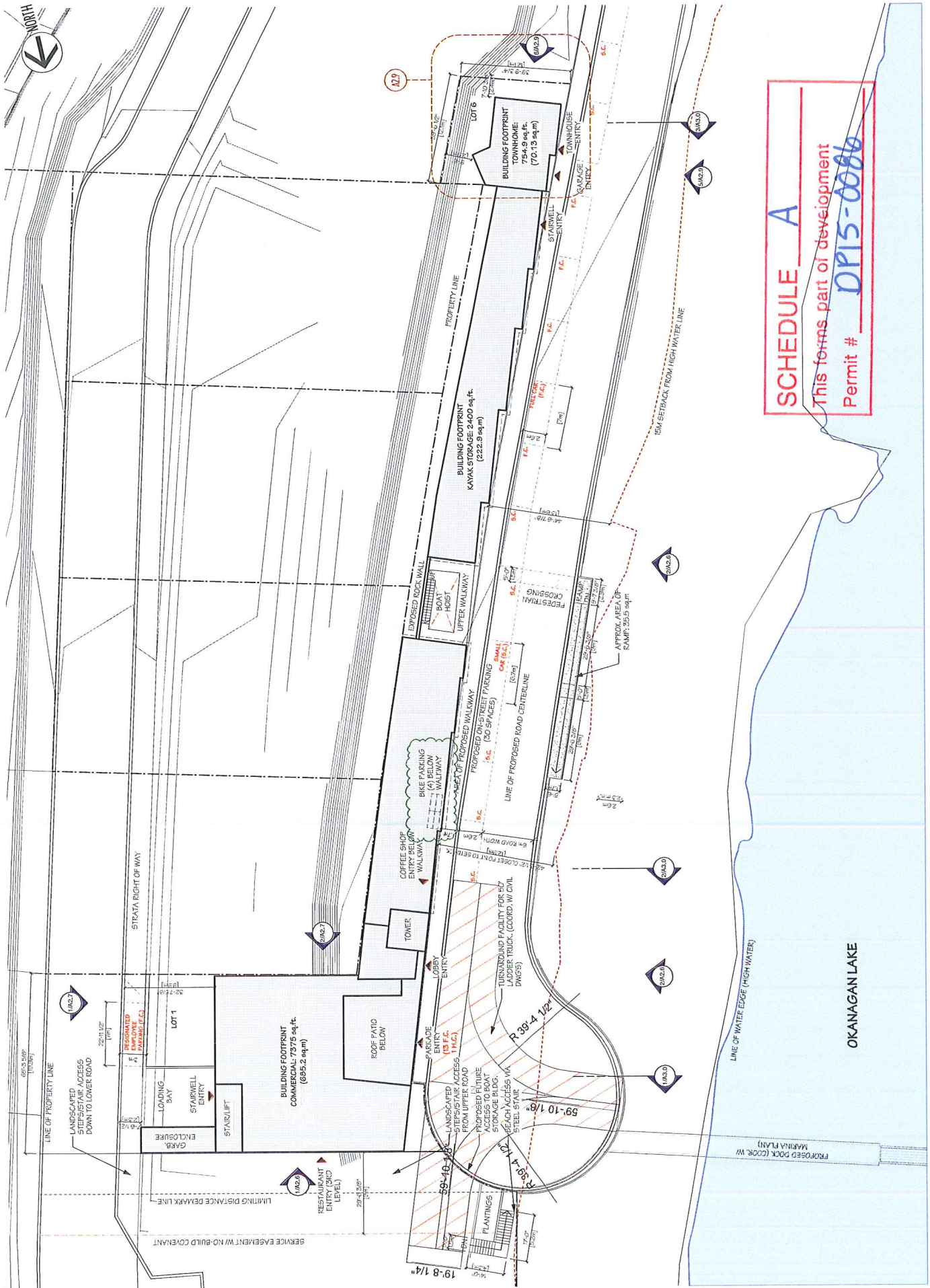


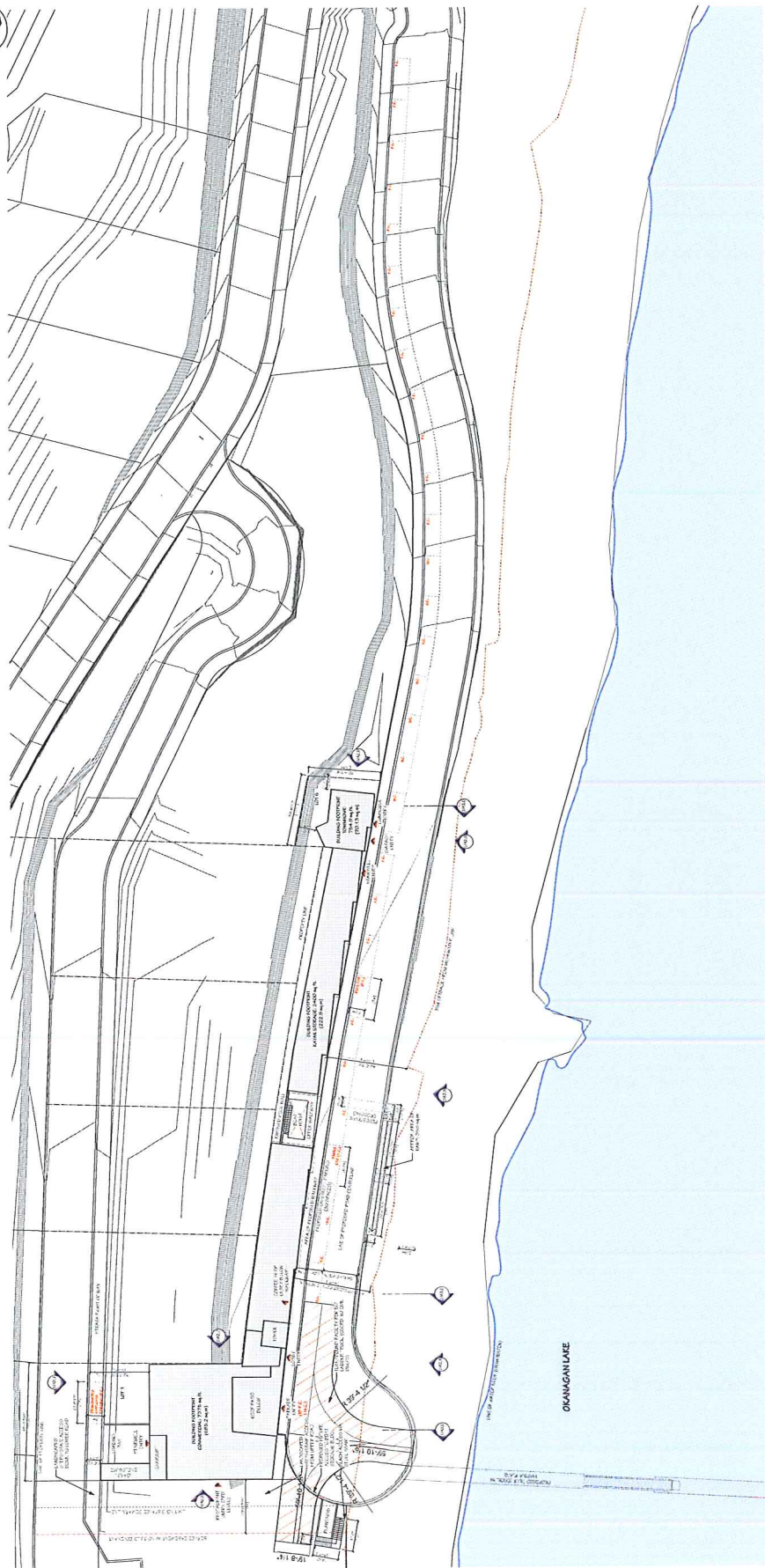
LOT 78 - BARE LAND STRATA SUBDIVISION (ACCESS BY EASEMENT OR PRIVATE ROAD)
 LOT (1) - COMMERCIAL LOT (BEACH CLUB) & STORAGE UNITS FOR BEACH EQUIPMENT
 LOT (7) - FREEHOLD LOT

LOT 81 - FUTURE STRATA

LOT 82 - 5 BARE LAND STRATA LOTS

LOT 79 (6) - BARE LAND TOWNHOUSE LOT



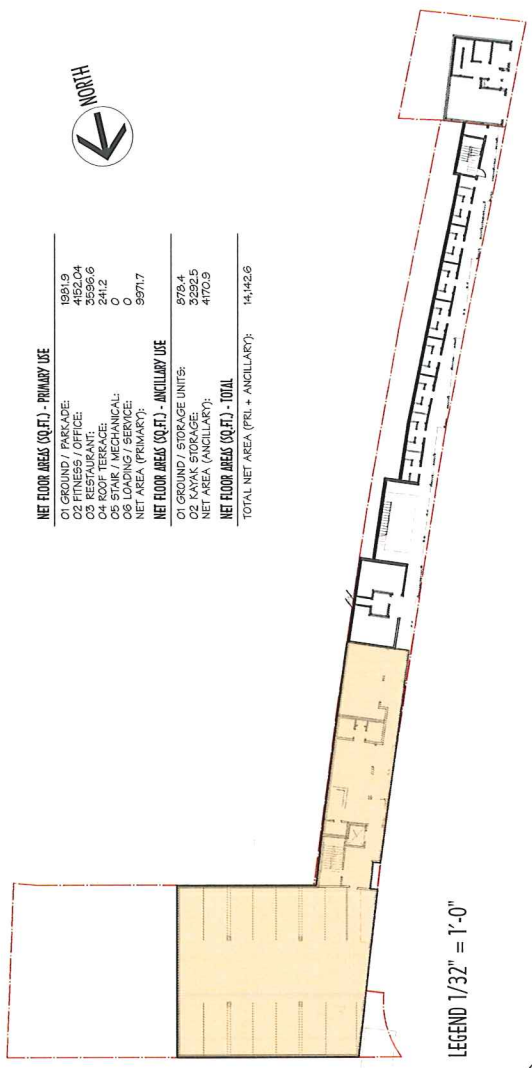


SCHEDULE A
This forms part of development
Permit # **DP15-0086**

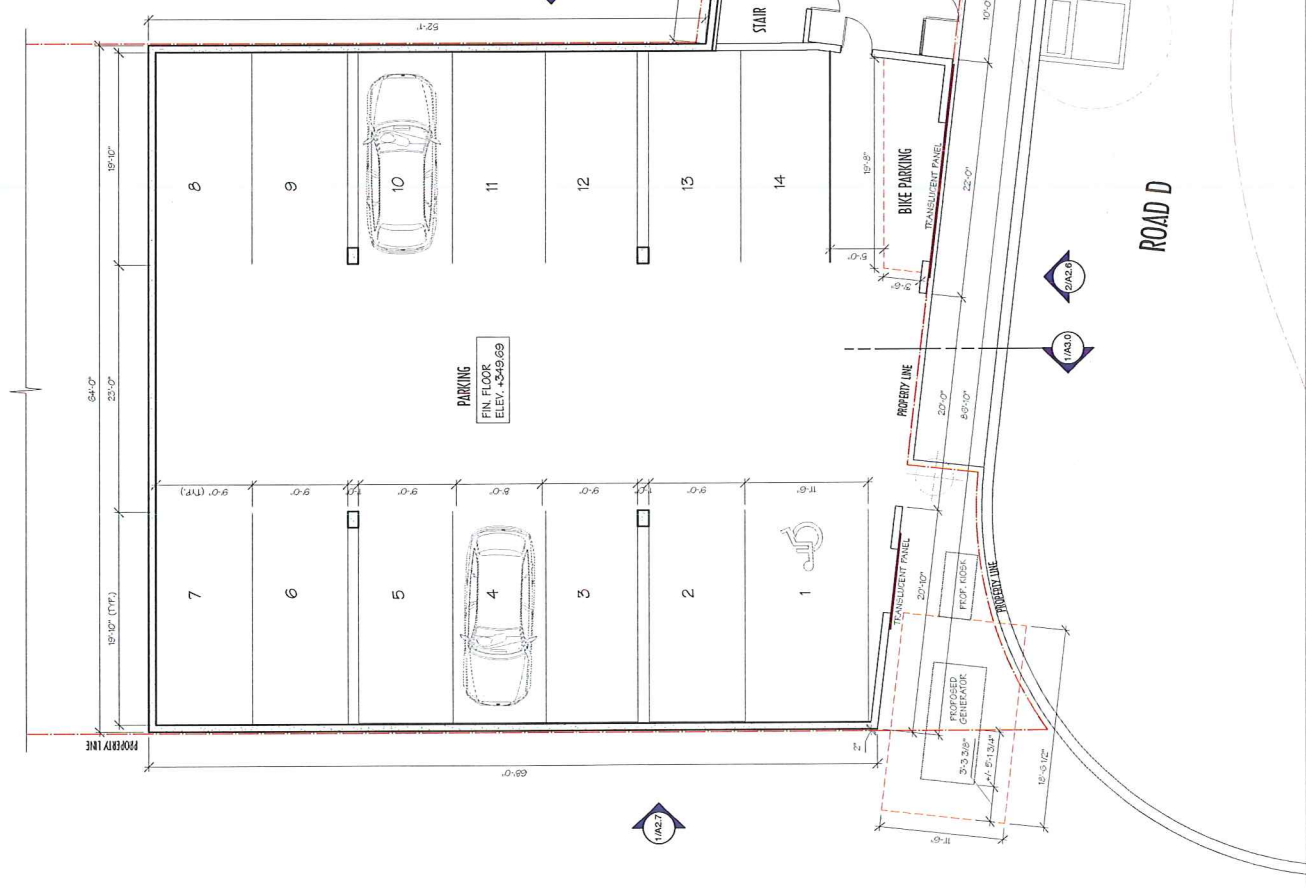
PROPOSED PARKING:
PARKADE: 14 SPACES
13 (2.6m x 7.0m)
1 (3.5m x 7.0m) HANDICAP
ON-STREET: 31 SPACES
18 (2.6m x 7.0m)
one on upper road (employee)
13 (2.3m x 6.7m) SMALL CAR
TOTAL = 45 SPACES



NET FLOOR AREAS (SQ. FT.) - PRIMARY USE	
01 GROUND / PARKING	1381.9
02 FITNESS / OFFICE	4182.04
03 RESTAURANT	3596.6
04 ROOF TERRACE	241.2
05 STAIR / MECHANICAL	0
06 KITCHEN / SERVICE	9971.7
NET AREA (PRIMARY)	
NET FLOOR AREAS (SQ. FT.) - ANCILLARY USE	
01 GROUND / STORAGE UNITS	878.4
02 KITCHEN / STORAGE	3592.5
NET AREA (ANCILLARY)	4470.9
NET FLOOR AREAS (SQ. FT.) - TOTAL	
TOTAL NET AREA (PRI + ANCILLARY)	14,142.8



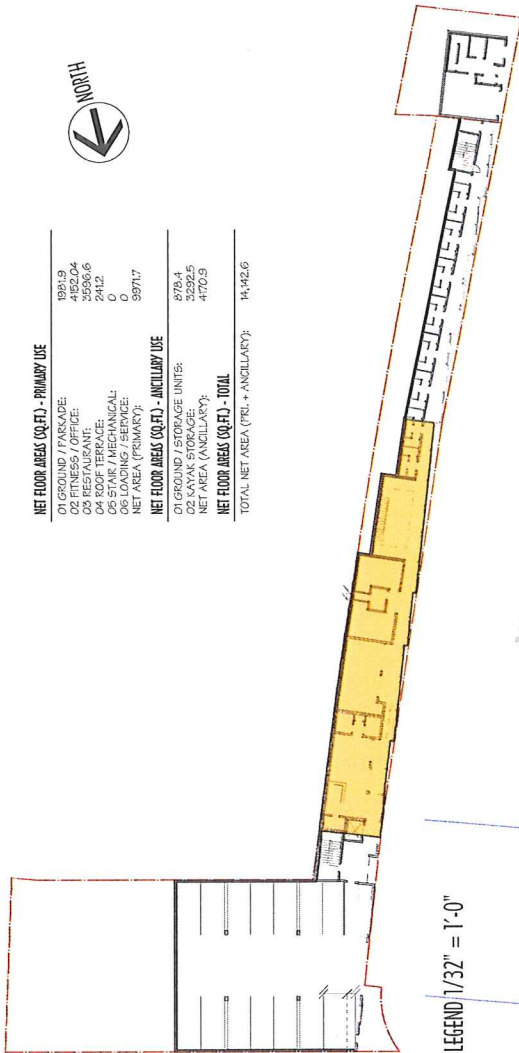
LEGEND 1/32" = 1'-0"



SCHEDULE A

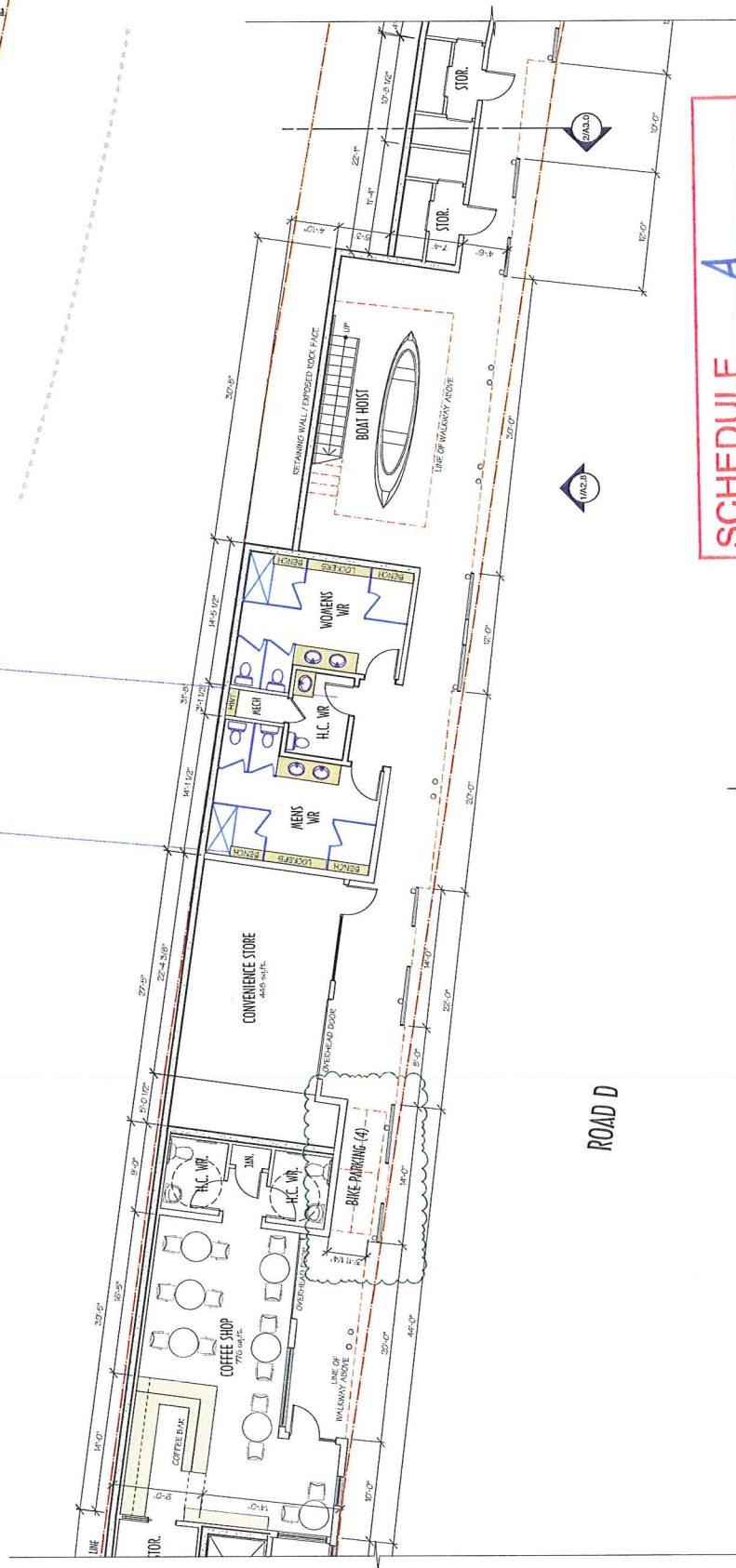
This forms part of development

Permit # DP15-0086

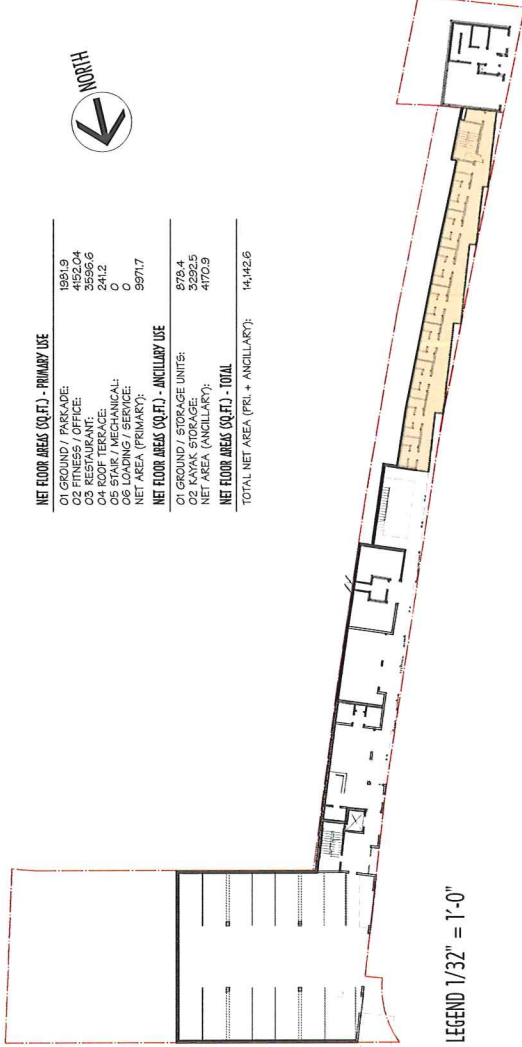


NET FLOOR AREAS (SQ.FT.) - PRIMARY USE	
01 GROUND / PARKADE:	1991.9
02 FITNESS / OFFICE:	4152.04
03 RESTAURANT:	25596.6
04 ROOF TERRACE:	2412
05 STAIRS / MECHANICAL:	0
06 LOADING / SERVICE:	9571.7
NET AREA (PRIMARY):	
NET FLOOR AREAS (SQ.FT.) - ANCILLARY USE	
01 GROUND / STORAGE UNITS:	8793.4
02 STAIRS / MECHANICAL:	25596.6
03 LOADING / SERVICE:	4770.9
NET AREA (ANCILLARY):	
NET FLOOR AREAS (SQ.FT.) - TOTAL	
TOTAL NET AREA (PRI. + ANCILLARY):	14,422.6

LEGEND 1/32" = 1'-0"

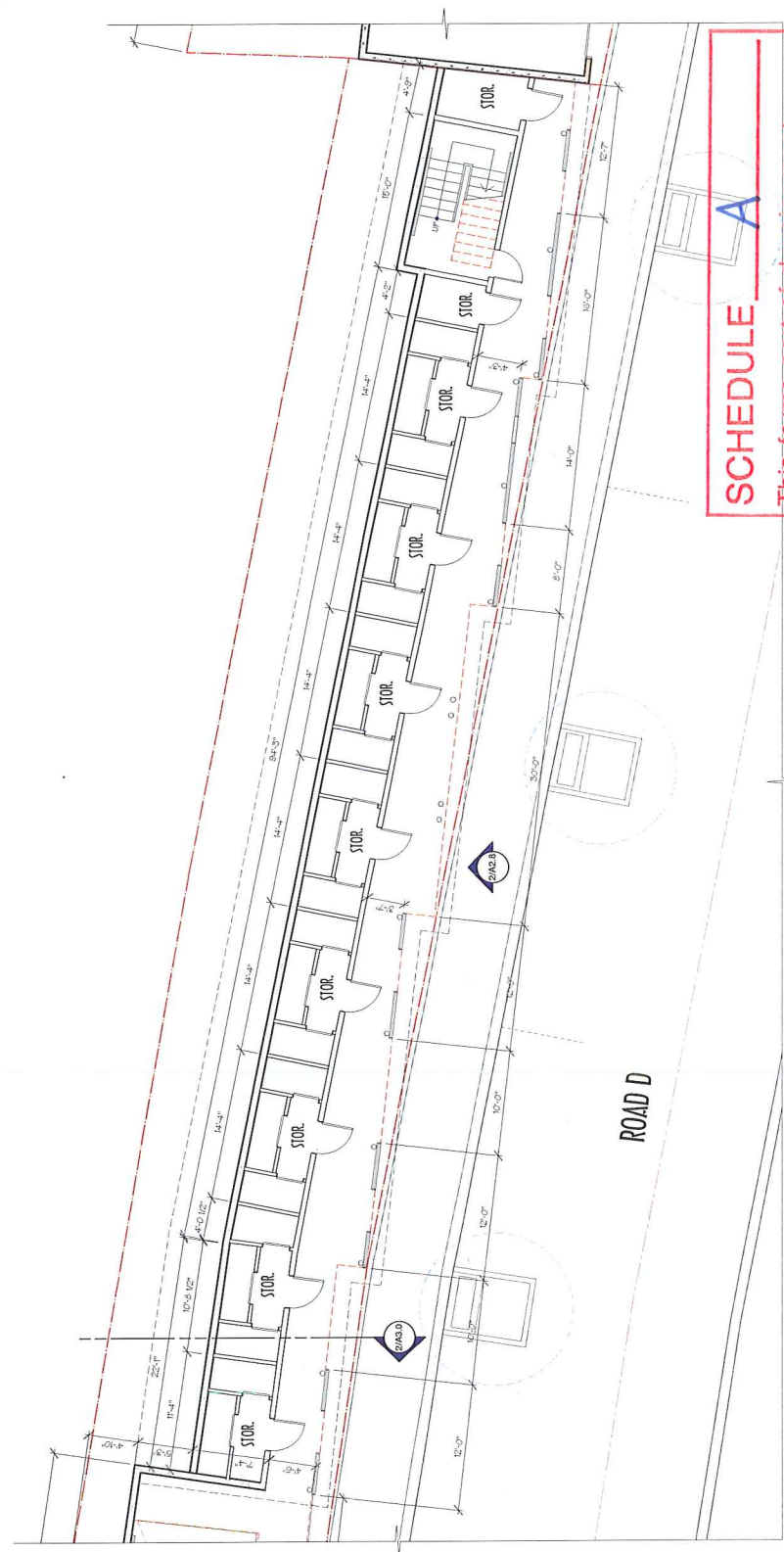


SCHEDULE A
This forms part of development
Permit # **DPI5-0086**

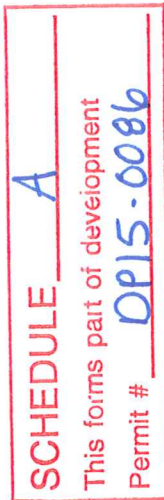


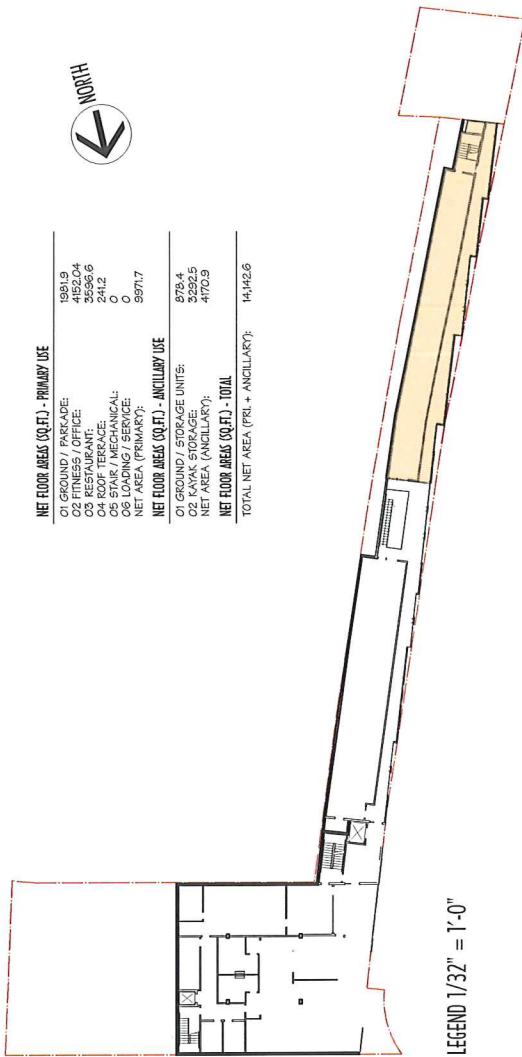
LEGEND 1/32" = 1'-0"

NET FLOOR AREA (SQ. FT.) - PRIMARY USE	
O1 GROUND / PARKING	1891.9
O2 FINISHES / OFFICE	4552.04
O3 RESTAURANT	25596.6
O4 ROOF TERRACE	241.2
O5 STAIR / MECHANICAL	0
O6 LOADING DOCK	0
NET AREA (PRIMARY)	5971.7
NET FLOOR AREA (SQ. FT.) - AUXILIARY USE	
O1 GROUND / STORAGE UNITS	8726.4
O2 PARKING	22592.5
NET AREA (AUXILIARY)	44708
NET FLOOR AREA (SQ. FT.) - TOTAL	
TOTAL NET AREA (PRI. + AUXILIARY)	14,142.6



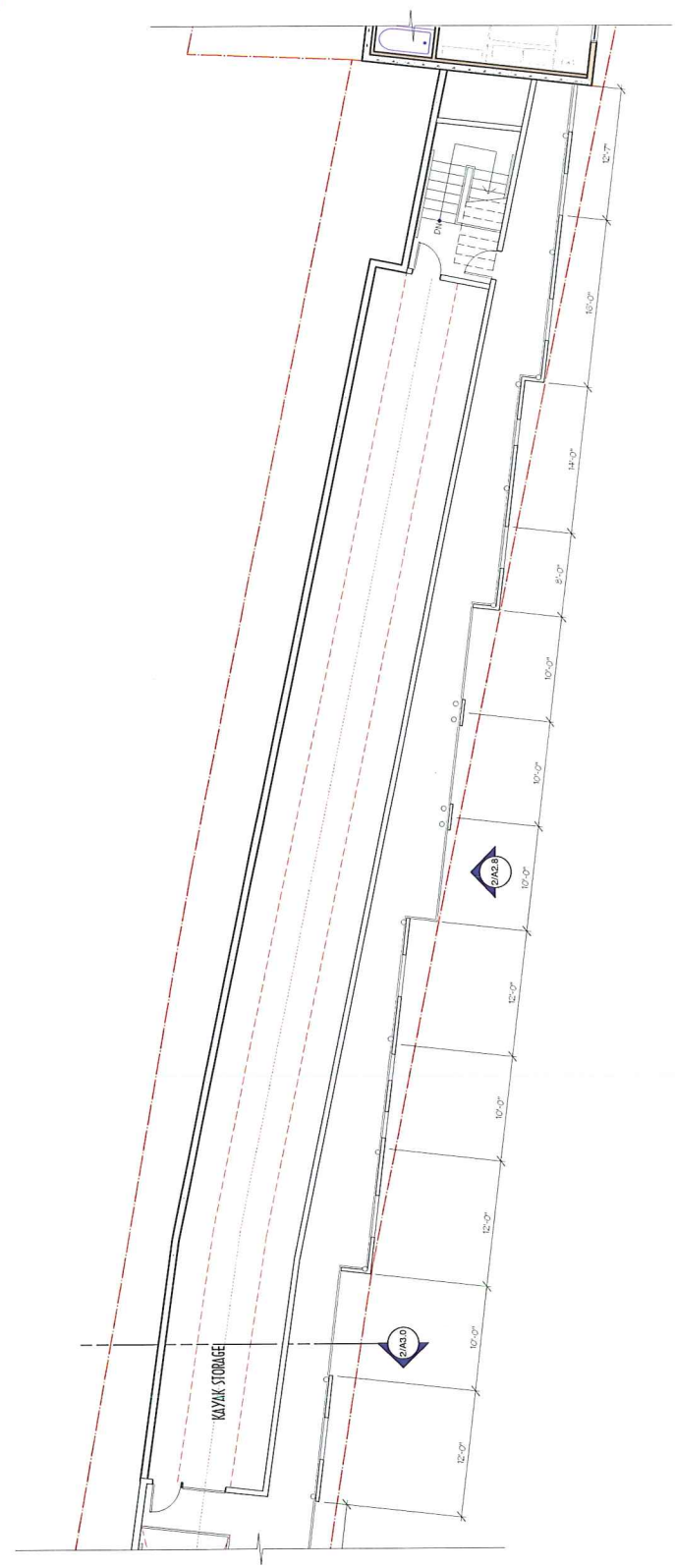
SCHEDULE A
This forms part of development
Permit # **DP15-0086**





NET FLOOR AREAS (SQ. FT.) - PRIMARY USE	
01 GROUND / PARKADE	1891.9
02 FITNESS / OFFICE	4152.04
03 RESTAURANT	35596.6
04 ROOF TERRACE	241.2
05 STAIR / MECHANICAL	0
06 LOADING DOCK / SERVICE	0
NET AREA (PRIMARY)	5971.7
NET FLOOR AREAS (SQ. FT.) - ANCILLARY USE	
01 GROUND / STORAGE UNITS	878.4
02 KAYAK STORAGE	3058.5
NET AREA (ANCILLARY)	4176.9
NET FLOOR AREAS (SQ. FT.) - TOTAL	
TOTAL NET AREA (PRI. + ANCILLARY)	14,142.6

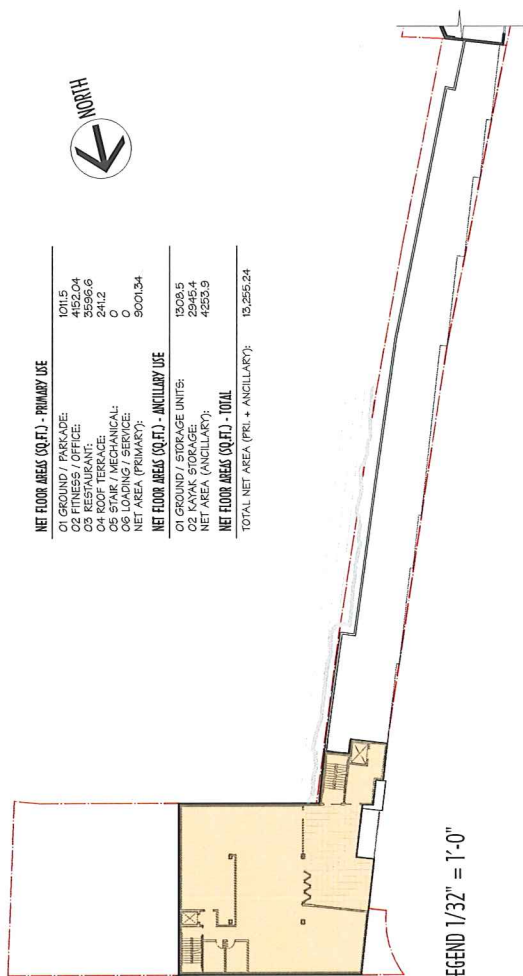
LEGEND 1/32" = 1'-0"



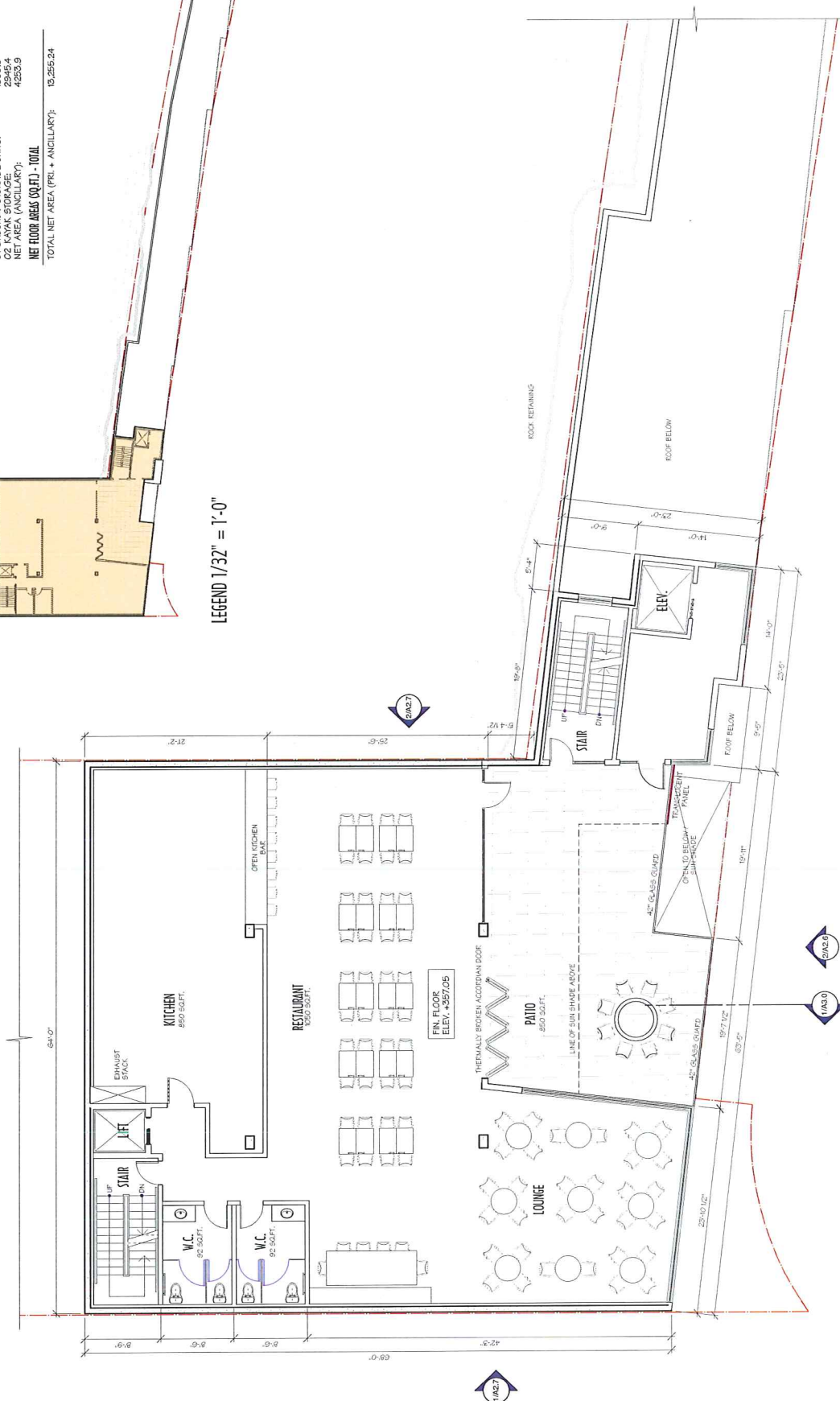
SCHEDULE A

This forms part of development

Permit # **DP15-0086**

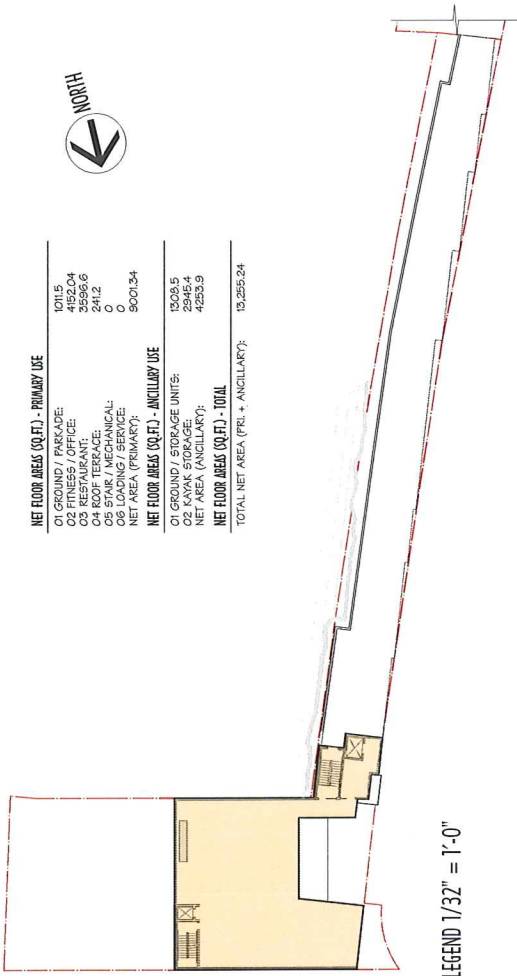


LEGEND 1/32" = 1'-0"

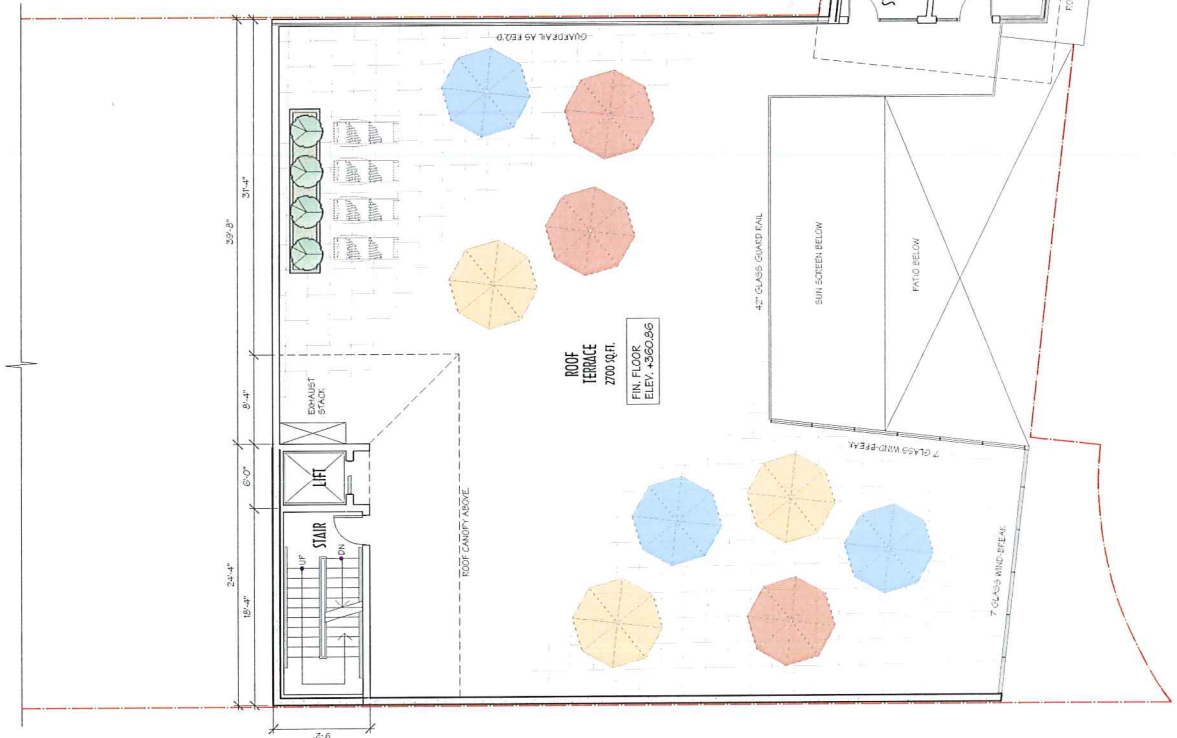


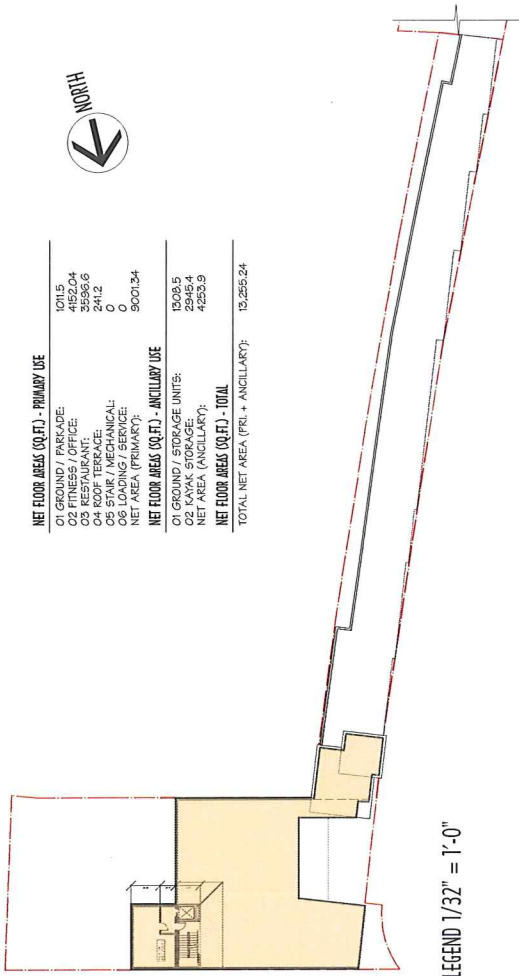
This forms part of development

Permit # bp15-0086



SCHEDULE A
This forms part of development
Permit # **DP15-0086**

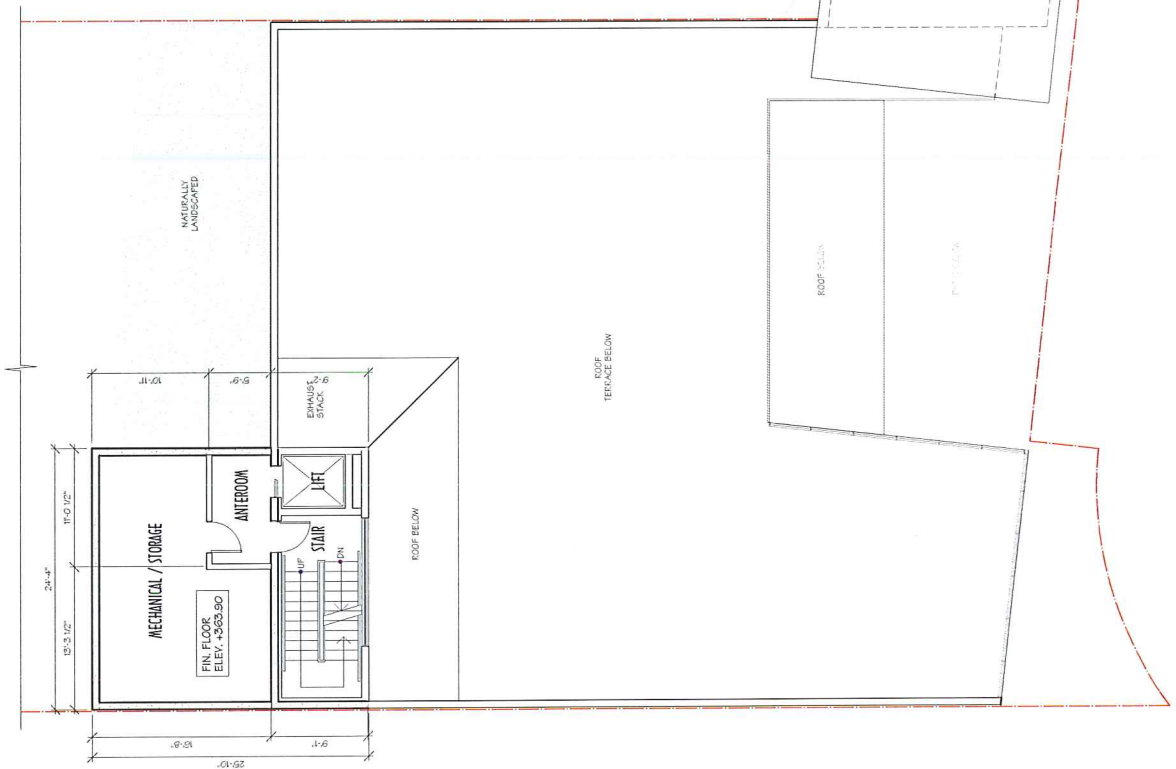


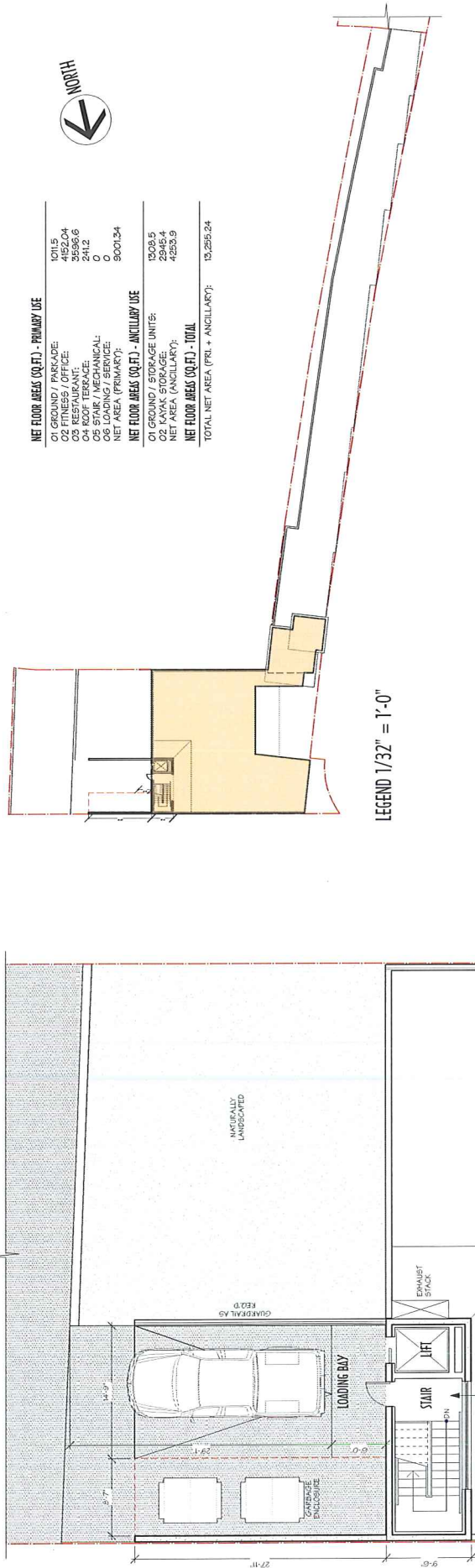


NET FLOOR AREA (SQ.FT.) - PRIMARY USE	
01 GROUND / PARKADE	1011.5
02 FITNESS / OFFICE	4152.04
03 RESTAURANT	35596.6
04 ROOF TERRACE	241.2
05 SANITARY / MECHANICAL	0
06 LANDSCAPE SERVICE	0
NET AREA (PRIMARY):	9001.34
NET FLOOR AREA (SQ.FT.) - ANCILLARY USE	
01 GROUND / STORAGE UNITS	1008.5
02 PARKING / SERVICE	1008.5
NET AREA (ANCILLARY):	4223.9
NET FLOOR AREA (SQ.FT.) - TOTAL	
TOTAL NET AREA (PRI. + ANCILLARY):	13,225.24

LEGEND 1/32" = 1'-0"

SCHEDULE A
This forms part of development
Permit # **DP15-0086**

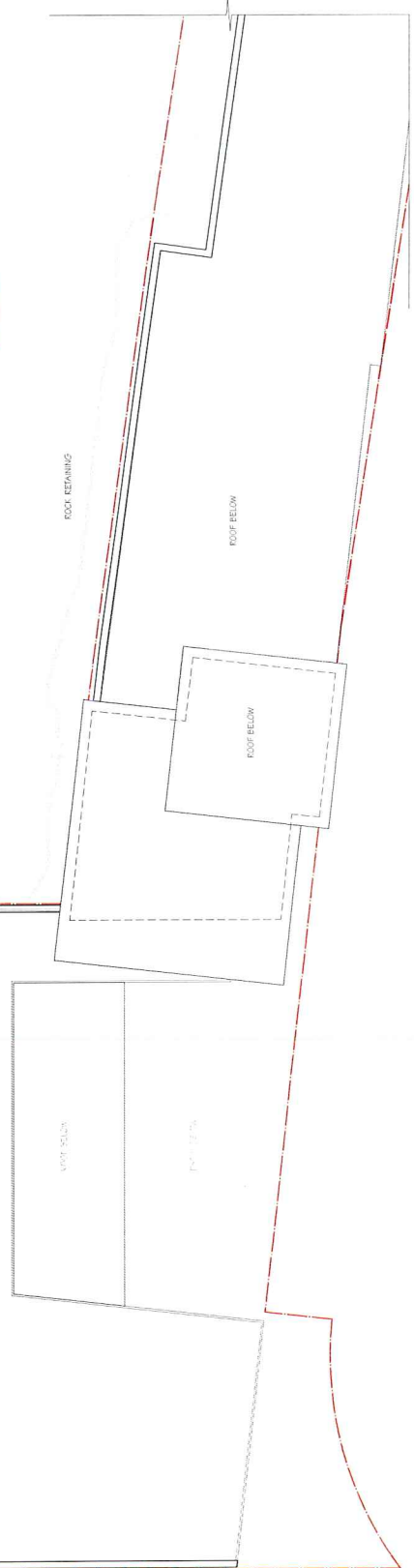




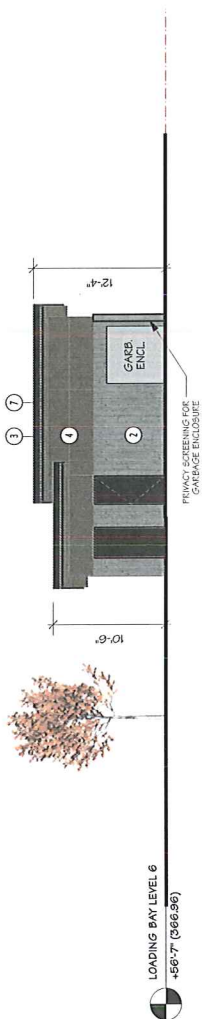
NET FLOOR AREA (SQ.FT.) - PRIMARY USE	
01 GROUND / PARKADE	1011.5
02 FITNESS / OFFICE	4152.04
03 RESTAURANT	35596.6
04 ROOF TERRACE	2411.2
05 SANITARY / RECREATIONAL	0
06 LOADING SERVICE	0
NET AREA (PRIMARY)	9001.34
NET FLOOR AREA (SQ.FT.) - AUXILIARY USE	
01 GROUND / STORAGE UNITS	10028.5
02 PARKING / SERVICE	10028.5
NET AREA (AUXILIARY)	4223.9
NET FLOOR AREA (SQ.FT.) - TOTAL	
TOTAL NET AREA (PRI + AUXILIARY)	13,225.24

LEGEND 1/32" = 1'-0"

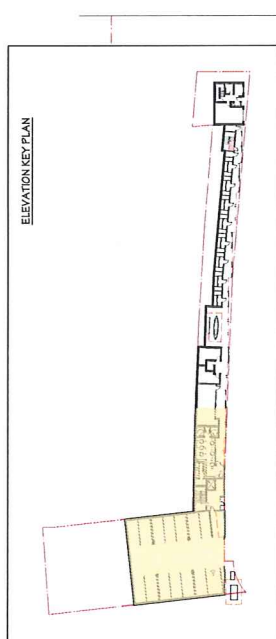
SCHEDULE A
This forms part of development
Permit # **DP15-0086**



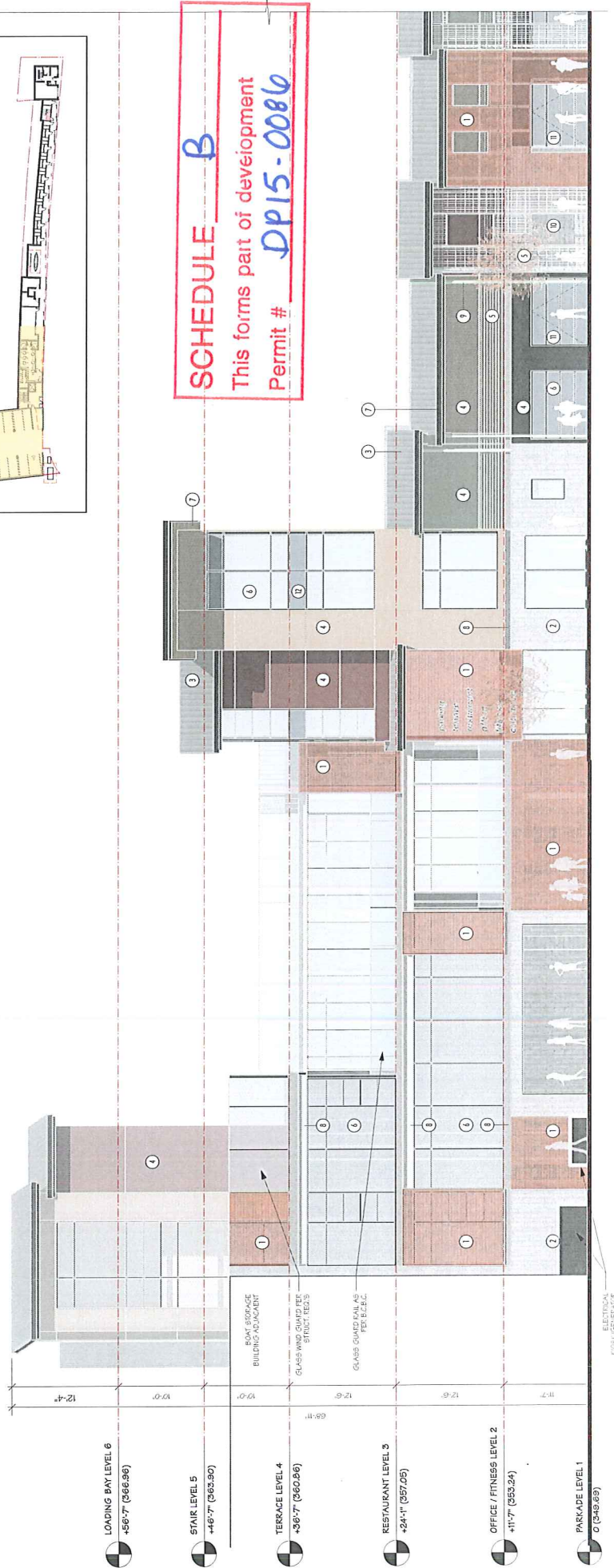
MATERIAL LEGEND	
①	PERFORATED CORTEN METAL PANEL
②	CEMENTITIOUS CLADDING
③	METAL ROOFING (COLOUR 190)
④	COMPOSITE METAL PANEL (COLOUR 1&2)
⑤	GAUVANIZED METAL WIRE MESH W/ METAL FRAME
⑥	LOWE TRIPLE PANE GLAZED CURTAIN WALL
⑦	PRE-FINISHED METAL FASCIA BOARD CAN VENTED
⑧	PAINTED STEEL COLUMN
⑨	PAINTED STEEL COLUMN
⑩	PRE-FINISHED METAL STORAGE DOOR, TYP.
⑪	THERMALLY BROKEN GLASS OVERHEAD DOOR SYSTEM, TYP.
⑫	SPANDREL GLAZING SET INTO CURTAIN WALL SYSTEM, TYP.



1/A2.6 - EAST BUILDING ELEVATION

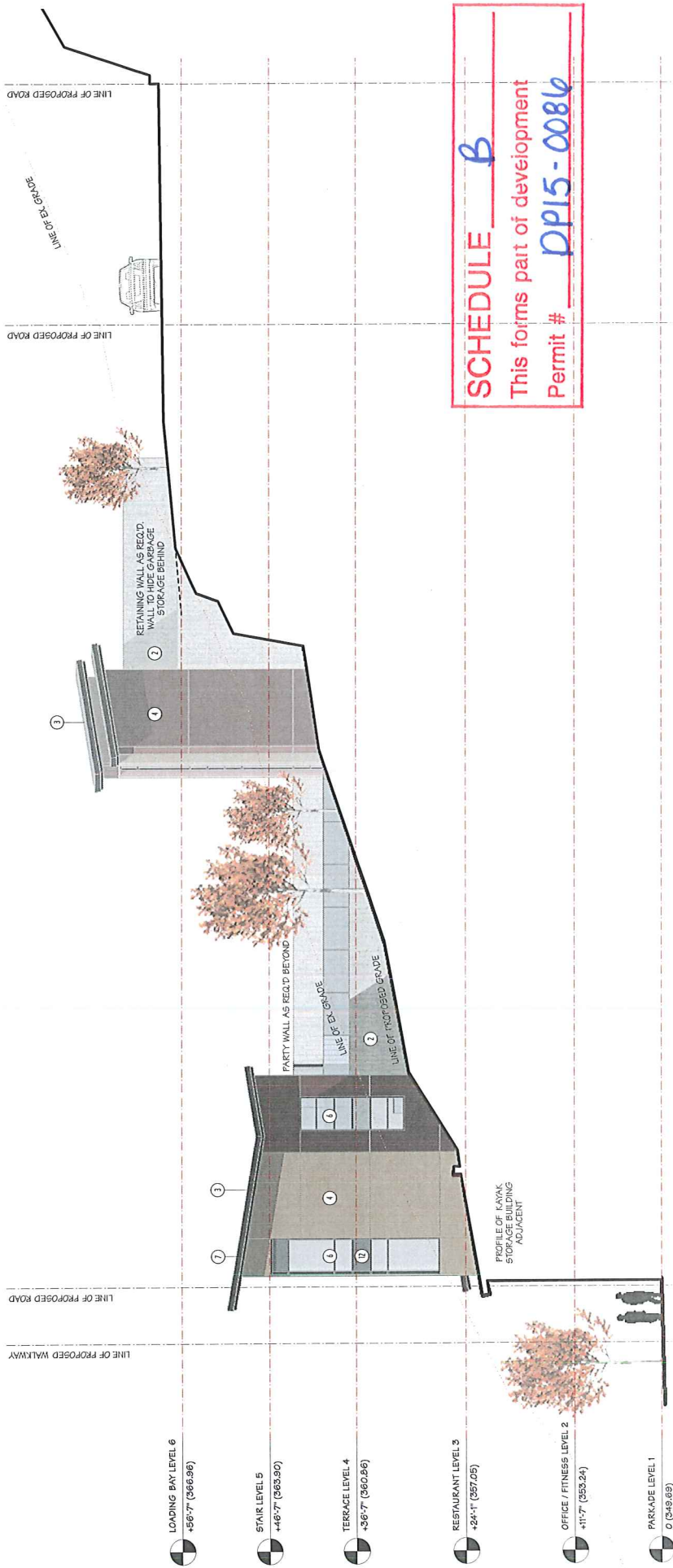
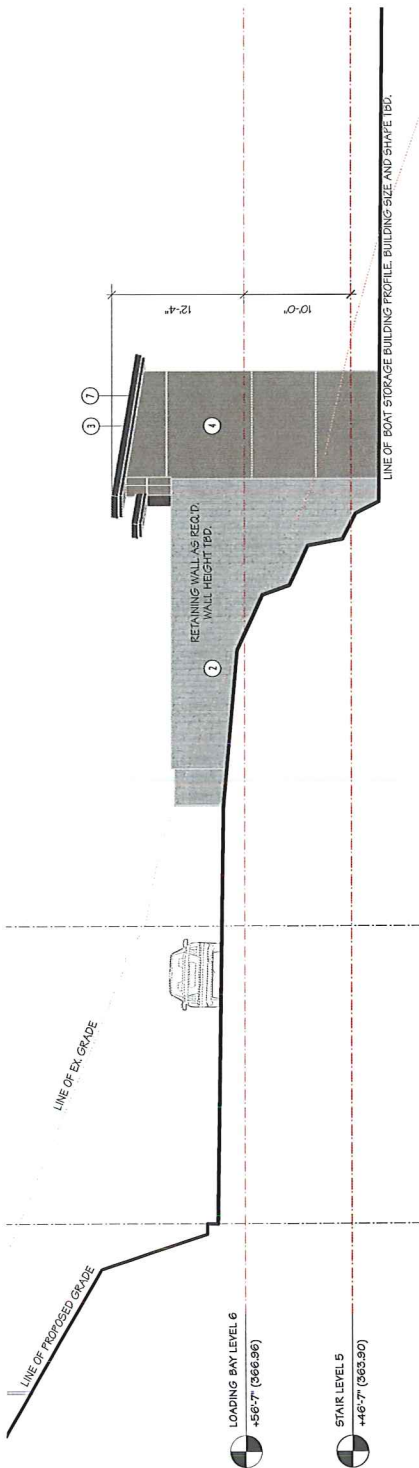


2/A2.6 - WEST BUILDING ELEVATION



SCHEDULE B
This forms part of development
Permit # **DP15-0086**

MATERIAL LEGEND	
①	PERFORATED CORTEN METAL PANEL
②	CEMENTITIOUS CLADDING
③	METAL ROOFING (COLOUR T&D)
④	COMPOSITE METAL PANEL (COLOUR T&D)
⑤	GALVANIZED METAL WIRE MESH W/ METAL FRAME
⑥	LOW-E TRIPLE PANE GLAZED CURTAIN WALL
⑦	PRE-FINISHED METAL FASCIA BOARD CAN VENTED
⑧	PAINTED STEEL COLUMN
⑨	PRE-FINISHED METAL STORAGE DOOR, TYP.
⑩	THERMALLY BROKEN GLASS OVERHEAD DOOR SYSTEM, TYP.
⑪	SPANDREL GLAZING SET INTO CURTAIN WALL SYSTEM, TYP.
⑫	



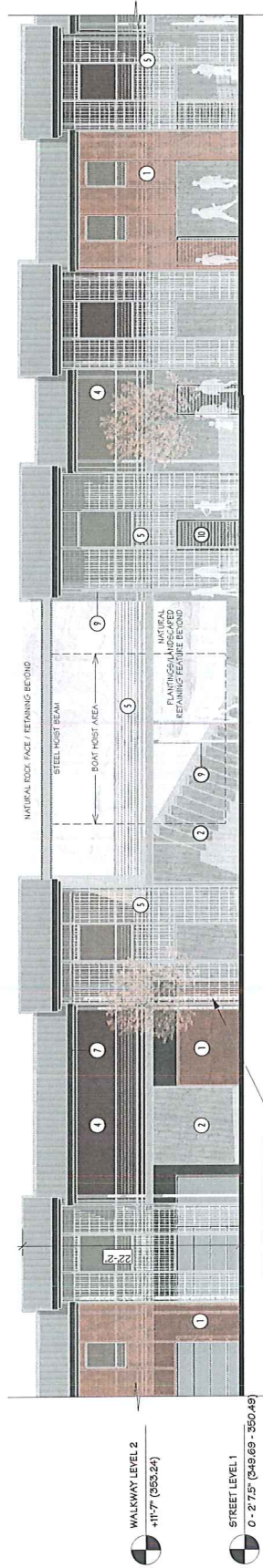
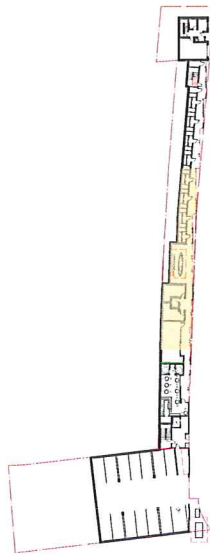
SCHEDULE B

This forms part of development

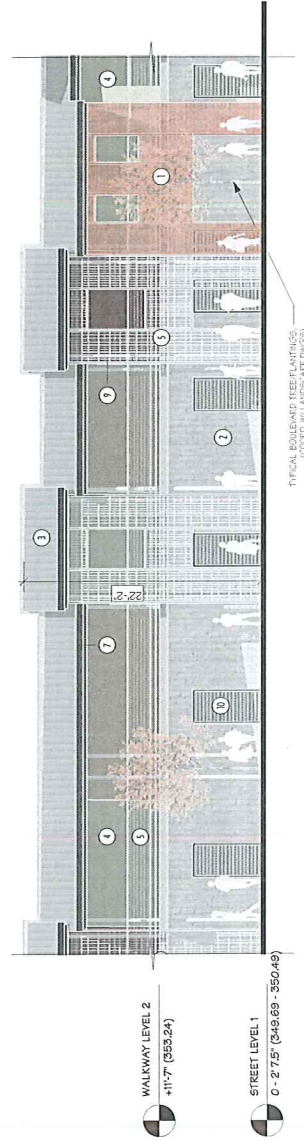
Permit # **DP15-0086**

MATERIAL LEGEND

- ① PERFORATED CORTEN METAL PANEL
- ② CEMENTITIOUS GLAZING
- ③ METAL ROOFING (COLOUR T&D)
- ④ COMPOSITE METAL PANEL (COLOUR T&D)
- ⑤ GALVANIZED METAL WIRE MESH W/ METAL FRAME
- ⑥ LOW-E THERM PINE GLAZED CURTAIN WALL
- ⑦ PRE-FINISHED METAL PINGO BOARD C/W VENTED
- ⑧ PAINTED STEEL C-CHANNEL
- ⑨ PAINTED STEEL COLUMN
- ⑩ PRE-FINISHED METAL STORAGE DOOR, TYP.
- ⑪ THERMALLY BROKEN GLASS OVERHEAD DOOR
- ⑫ SPANDREL GLAZING SET INTO CURTAIN WALL SYSTEM, TYP.



1/A2.B - PARTIAL WEST BUILDING ELEVATION

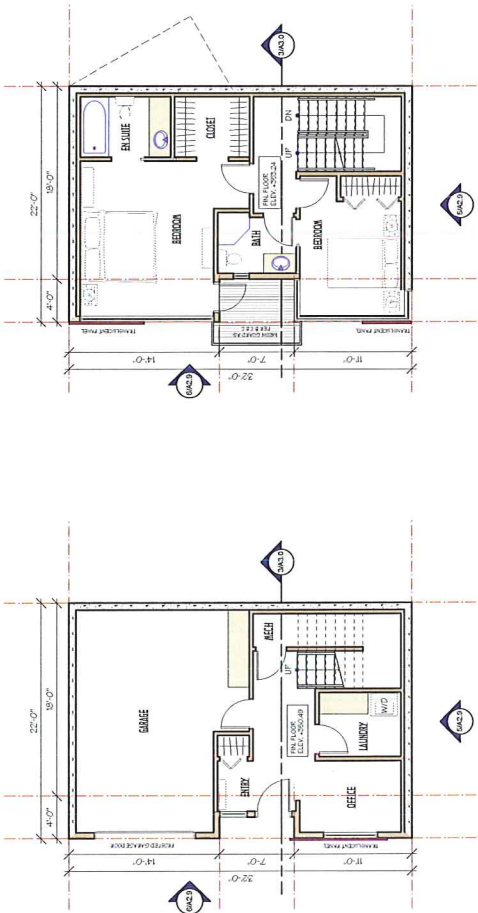


2/A2.B - PARTIAL WEST BUILDING ELEVATION

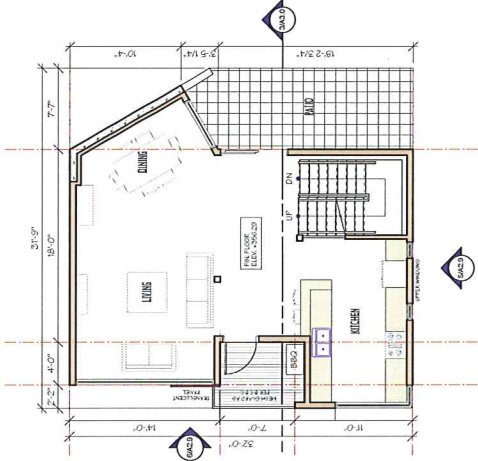
SCHEDULE B

This forms part of development

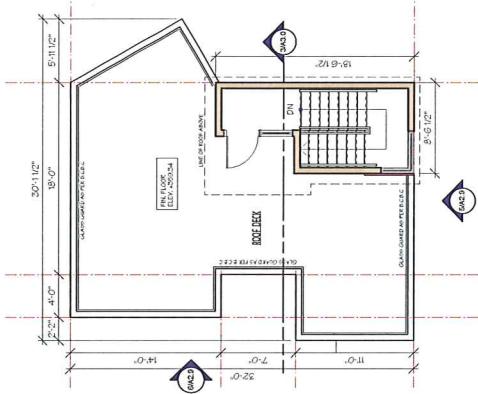
Permit # DP15-0086



1/A2.9 - GROUND LEVEL PLAN



3/A2.9 - THIRD LEVEL PLAN



4/A2.9 - ROOF LEVEL PLAN



2/A2.9 - SECOND LEVEL PLAN

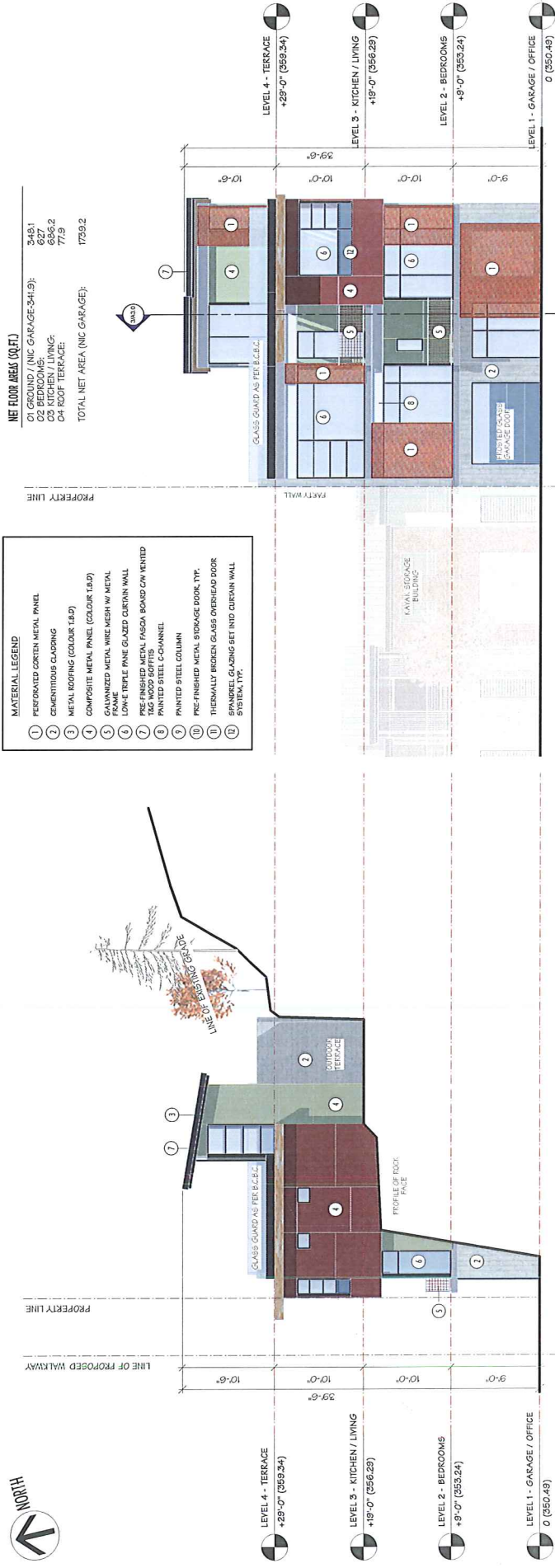
MATERIAL LEGEND

- PERFORATED CORTEN METAL PANEL
- CEMENTITIOUS CLADDING
- METAL ROOFING (COLOUR 18.0)
- COMPOSITE METAL PANEL (COLOUR 18.0)
- LOWE REPTILE PINE GLAZED CURTAIN WALL FRAME
- PRE-FINISHED METAL PANDA BOARD CW VENTED
- PAINTED STEEL C-CHANNEL
- PAINTED STEEL COLUMN
- PRE-FINISHED METAL STORAGE DOOR, TYP.
- THERMALLY BROKEN GLASS OVERHEAD DOOR SYSTEM, TYP.
- SPARKLE CLADDING SET IN CURTAIN WALL SYSTEM, TYP.

NET FLOOR AREAS (SQ.FT.)

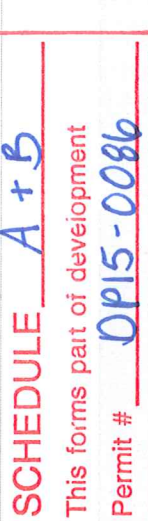
01 GROUND / INC. GARAGE: 341.19;
 02 BEDROOMS: 686.2
 03 KITCHEN / LIVING: 77.9
 04 ROOF TERRACE: 1739.2

TOTAL NET AREA (INC. GARAGE):
 2644.5



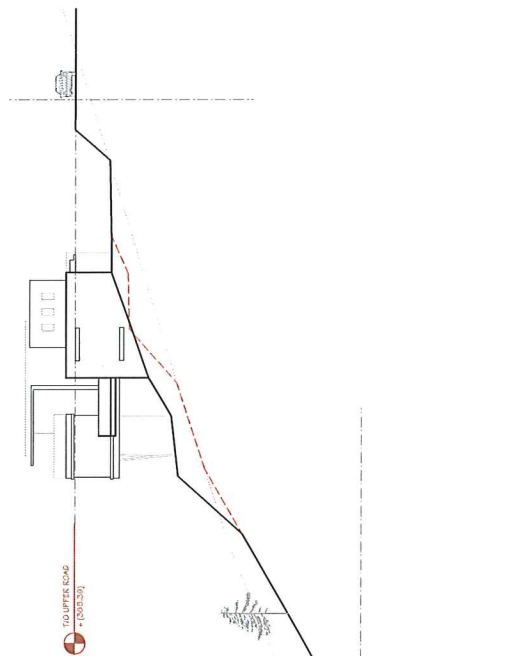
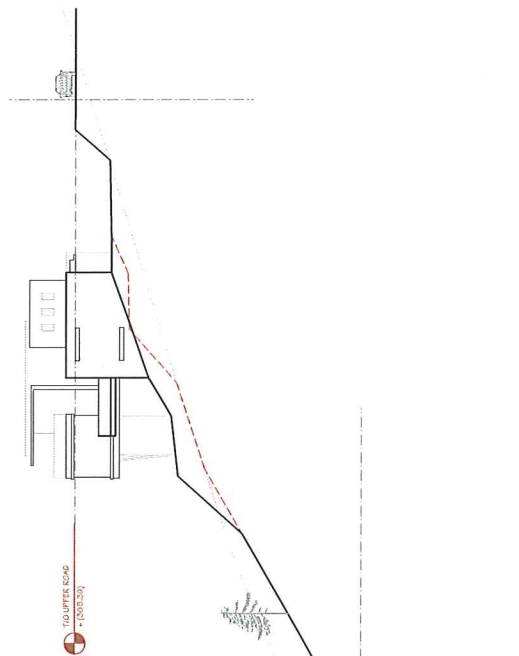
5/A2.9 - SOUTH BUILDING ELEVATION

6/A2.9 - WEST BUILDING ELEVATION



SCHEDULE A + B

This forms part of development Permit # **OP15-0086**



BLUEGREEN ARCHITECTURE INC.

CITY OF KELOWNA
MEMORANDUM

Date: April 30, 2015
File No.: DP15-0086 DVP15-0087
To: Land Use Management Department (LG)
From: Development Engineering Manager
Subject: 3470 SHAYLER RD McKinley BEACH Beach Club, Coffee Shop

Development Engineering has the following comments and requirements associated with this application to obtain a Development Permit (Direct) for the construction of three buildings that will include a Beach Club, Coffee Shop, Retail, Public Washrooms and Storage.

.1) General

- a) The proposed development is within Strata Lot 78.
- b) The request for a variance to reduce the required parking spaces by 10 spaces, does not compromise our servicing requirements

.2) Water

- a) The property is located within the Glenmore Irrigation District (GEID) service area.
- b) Provide an adequately sized domestic water and fire protection system. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw.
- c) Confirm that Hydrant Fire Flows of 150 litres per second are achievable.

.3) Sanitary Sewer

- a) As a requirement of subdivision application S14-0008, the strata will be provided with a sanitary servicing.

.4) Drainage

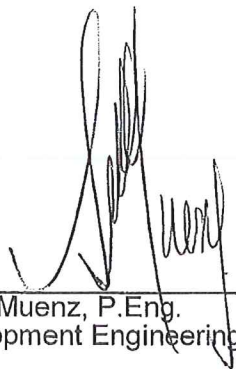
- a) The drainage of the entire property has been identified in the Storm Water Management Plan. The storm water release rate must be in accordance with the master drainage plan.
- b) Erosion and Sediment control must be in accordance with the requirements identified in the Environmental Development Permit.
- c) Provide a Lot Grading Plan

.5) Roads and Access

- a) The private strata access road must meet the requirements of the Kelowna Fire Department.

.6) Power and Telecommunication Services and Street Lights

- a) All proposed distribution and service connections are to be installed underground.



Steve Muenz, P.Eng.
Development Engineering Manager

JF

CITY OF KELOWNA

APPROVED ISSUANCE OF A:

Development Permit No.:

DP15-0086

Development Variance Permit No.:

DVP15-0087

EXISTING ZONING DESIGNATION: CD18 - McKinley Beach Comprehensive Resort Development

WITHIN DEVELOPMENT PERMIT AREAS: General Commercial

ISSUED TO: Grant Gaucher (G Group)

LOCATION OF SUBJECT SITE: 3470 Shayler Road

	LOT	SECTION	D.L.	TOWNSHIP	DISTRICT	PLAN
LEGAL DESCRIPTION:	7	29		23	ODYD	EPP8753

SCOPE OF APPROVAL

- ☐ This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.
- ☐ This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.
- ☐ Applicants for a Development Permit and/or Development Variance Permit should be aware that the issuance of a Permit limits the applicant to be in strict compliance with regulations of the Zoning Bylaw or Subdivision Control Bylaw unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations which are inconsistent with bylaw provisions and which may not have been identified as required Variances by the applicant or City staff.

1. TERMS AND CONDITIONS:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. Prior to issuance of the Building Permit, the requirements of the Development Engineering Branch must be satisfied;
5. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;

AND THAT Development Variance Permit No. DVP15-0087 be issued for the property legally known as Lot 7, Section 29, Township 23, ODYD, Plan EPP8753 located at 3470 Shayler Road, Kelowna, BC;

Table 8.1 – Parking Schedule (Commercial Use Parking Rates)

To vary the minimum required parking stalls from 52 requires to 45 proposed.

AND THAT the applicant be required to complete the above-noted conditions of Council's approval of the Development Permit Application in order for the permit to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. **DEVELOPMENT:**

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

If the Permittee does not commence the development Permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit is not transferrable unless specifically Permitted by the Municipality. The authorization to transfer the Permit shall, if deemed acceptable, be granted by Council resolution.

THIS Permit IS NOT A BUILDING Permit.

3. **PERFORMANCE SECURITY:**

None required.

4. **APPLICANT'S AGREEMENT:**

I hereby declare that all the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- (a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- (b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit or Development Variance Permit, the Municipality may withhold the granting of any occupancy Permit for the occupancy and/or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner/Authorized Agent

Date

Print Name in Bold Letters

Telephone No.

5. APPROVALS:

DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT AUTHORIZED BY THE COUNCIL ON THE 28th DAY OF JULY, 2015.

ISSUED BY THE COMMUNITY PLANNING DEPARTMENT OF THE CITY OF KELOWNA THE ____ DAY OF _____, 2015 BY THE COMMUNITY PLANNING DEPARTMENT MANAGER.

Ryan Smith, Department Manager
Community Planning